

HISTORICAL RESOURCES ASSESSMENT AND ENVIRONMENTAL IMPACTS ANALYSIS

6220 WEST YUCCA PROJECT LOS ANGELES, CALIFORNIA



PREPARED FOR:

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I. INTRODUCTION

A. EXECUTIVE SUMMARY

The purpose of this Historic Resources Assessment and Environmental Impact Analysis ("Report"), completed by Environmental Science Associates (ESA), is to identify and evaluate historical resources that may be affected by the implementation of Riley Realty, LP's redevelopment project ("Project"), located on an approximately 1.16-acre property on the south side of West Yucca Street between Argyle Avenue and Vista del Mar Street, generally referenced as 6220 West Yucca Street ("Project Site" or "subject property"). Located within the Hollywood Community Plan area of Los Angeles, the Project Site is currently improved with one single-family residence located ("1771 Vista del Mar Street") constructed in 1920, one duplex ("1765 Vista del Mar Street") constructed in 1918, and three, two-story apartment buildings ("Yucca Argyle Apartments") and associated carports and paved surface parking areas constructed in 1953, all of which would be demolished and removed to support development of the Project. This Report was prepared in compliance with the California Environmental Quality Act ("CEQA"), to assess the existing improvements at 1765 Vista del Mar Street, 1771 Vista del Mar Street, and 6210 Yucca Street, and the property setting, and to evaluate the federal, state, and local significance and eligibility of the properties as historical resources. The Report includes a discussion of the survey methods used, a brief historic context of the property and surrounding area, the identification and evaluation of the Project Site, and an impacts analysis.

The Yucca Argyle Apartments were evaluated in the 2010 Historic Resources Survey of the Hollywood Redevelopment Plan Update ("2010 Historic Resources Survey") and were determined ineligible for listing on the National Register, California Register, or as a local landmark. The reevaluation of this property in this Report also concludes the Yucca Argyle Apartments appear ineligible for listing under any federal, state or local eligibility criteria. Built in 1953, the Yucca Argyle Apartments were constructed much later than the development of the surrounding neighborhood and therefore do not contribute to the earlier development history of the area. As a product of the postwar era, the Yucca Argyle Apartments are properly associated with Los Angeles' mid-century population growth. However, the Yucca Argyle Apartments are physically isolated from other similar multi-family housing developments in Hollywood and do not appear to hold any significant associations with this period of development. Furthermore, the Yucca Argyle Apartments do not appear associated with persons significant to local, state, or national history. Finally, the Yucca Argyle Apartments are common examples of mid-century multi-family residences built as income producing properties. Alterations to the Yucca Argyle Apartments, including the replacement of all windows with modern vinyl sliding windows, have significantly affected the Buildings' integrity of design, materials, and workmanship. Due to the loss of integrity, the Buildings' are not eligible as excellent examples of the courtyard apartment building type. Furthermore, courtyard apartments were designed to create an outdoor common area, taking advantage of the ideal Southern California climate within an urban environment. However, the Yucca Argyle Apartments do not meaningfully reflect this design characteristic due to a lack of balconies and the dominance of concrete pathways which limit the amount of landscaped space within the courtyard. Furthermore, the Yucca Argyle Apartments are not the work of a master architect or builder. As a result of these investigations, the Yucca Argyle Apartments are assigned a California Historic Resource ("CHR") status code of 6Z, "found ineligible for National Register, California Register or local designation through survey evaluation."

The residences at 1765 and 1771 Vista del Mar were included in previous historic resource surveys conducted in 1984 and 1994, and in the 2010 Historic Resources Survey. In 1984, the residences were determined contributors to the Vista del Mar/Carlos Historic District ("District"), which was found eligible at the local level and assigned a 5S2 CHR status code. In regard to 1765 Vista del Mar, this finding was made despite the survey

noting the residence had a second-story addition (1935) that altered the original 1918 residence beyond recognition. Following the 1994 Northridge earthquake, the District was reevaluated, found to be a rare neighborhood representing early-Hollywood residential development, and determined eligible for the National Register by consensus through the Section 106 process, and automatically listed in the California Register. As a result, 1765 and 1771 Vista del Mar, as contributors, were also listed in the California Register by act of law. Both residences were resurveyed again during the 2010 Historic Resources Survey. 1765 Vista del Mar retained its status as a contributor to the District; while it was recognized that 1771 Vista del Mar was altered since it was last surveyed in 1994 and thus was found ineligible for national, state, and local listing (and was assigned a 6Z California Historical Resources (“CHR”) Status Code in the 2010 Historic Resources Survey).

The reevaluation of both 1765 and 1771 Vista del Mar Street in this Report revealed that the residences have both been severely altered and no longer retain their historic integrity, and are therefore no longer eligible at the national, state, or local levels as contributors to the District. Because neither of the residences convey their original historic appearance, they are no longer representative of the development of Tract 2209 and the early improvement of Hollywood. Furthermore, they are not identified with historic events or personages. Lastly the residences are substantially altered and furthermore are not exceptional, distinctive, outstanding, or singular examples of a type or style. Therefore, they have been assigned a CHR Status Code of 6Z, “found ineligible for National Register, California Register or local designation through survey evaluation.” ESA’s reevaluation of 1765 and 1771 Vista del Mar Street were recorded on Department of Park and Recreation (“DPR”) 523L Continuation Sheets and are included in Appendix G. However, despite the loss of integrity and their current ineligibility, both the residences at 1765 and 1771 Vista del Mar Street remain listed on the California Register by virtue of the 1994 survey. Because both residences remain listed on the California Register, they are considered historical resources for the purposes of CEQA.

Despite the current ineligibility of the residences at 1765 and 1771 Vista del Mar, their listing on the California Register as contributors to the District and status as historical resources under CEQA are such that their demolition under the Project would legally have an impact on the District regardless of the fact that no substantial physical change would occur. Because demolition of the currently ineligible residences would not result in the removal of any key physical characteristics of the District that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register, their removal would not result in a significant adverse material impact on the District, as the District would remain eligible after Project completion.

ESA also analyzed potential indirect impacts to seven historical resources in the vicinity that would have views of the Project. While the Project would alter the visual context of nearby resources including the District, the site of the Little Country Church of Hollywood, Pantages Theater, Hollywood Equitable Building, Hollywood Boulevard Commercial and Entertainment District, and the Hollywood Walk of Fame; the context of these resources has already been compromised by previous changes and infill development. For example, in 1953, the former location of the Bartlett Residence, near the corner of Yucca Street and Argyle Avenue, was redeveloped with three garden style apartments. In 1954, the Hollywood Freeway opened nearby. In 2007, the Little Country Church of Hollywood was destroyed by a fire. And, in more recent years, the setting has been further changed by infill construction like the new buildings occupying the northeast corner of Hollywood Boulevard and Argyle Avenue. Accordingly, the Project would not materially impair the significance, integrity and setting of other historical resources in the Project vicinity.

Due to the location of the Project Site within the District, the Project seeks to conform to Standards 9 and 10 of the Secretary of the Interior's Standards for Rehabilitation regarding related new construction. The Project consists of two buildings, a 20-story Building 1 at the western end of the Project Site and a three-story Building 2 at the east end of the Project Site and within the District. The primary character-defining features of the District, including the street layout, mature street trees, and setbacks behind grass lawns, would be retained under the Project. The proposed Building 2 includes a 15-foot setback for its east elevation and a seven-foot setback along the south elevation thereby being compatible with, and even improving upon the Vista del Mar Street residential streetscape. While the Project would present a contrast in massing, size, and scale with the adjacent single- and multi-family residences, most of which are one- and two-stories in height, the Project would scale down from a 20-story tower to a three-story building near the east end of the Project Site, similar to other infill development in the area. Furthermore, the Project would not significantly degrade the already compromised historic setting of the District. The Project is differentiated from the historic setting of the District and the site of the former Little Country Church of Hollywood. The materials and architectural features of the Project are contemporary and would be differentiated from the materials and design of the early-twentieth century contributing residences. Additionally, Building 2 incorporates elements of the Prairie style, including the use of stucco and brick, hipped roofs, residential scaled fenestration, and a muted color scheme, to create compatibility with the Craftsman style District contributors. Based on the above, the character-defining features of the District would be retained and the Project design would be compatible with the District, therefore, the indirect impact of the Project on the District and other historic resources in the vicinity are considered less than significant under CEQA.

In regard to cumulative impacts, the Project, together with related projects, would have a less than significant impact on historic resources or districts in the immediate vicinity or involve adverse changes to resources that are examples of the same style or property type as those within the Project Site. Also, the scale of the proposed Project in combination with related projects would not block notable focal views or impair the setting of historic resources within the viewshed of the Project. Accordingly, the Project's contribution to cumulatively significant impacts on historic resources would not be cumulatively considerable.

B. PROJECT SITE

The Project Site is located on the south side of West Yucca Street between Argyle Avenue and North Vista del Mar Street (addresses: 1756, 1760 North Argyle Avenue; 6210-6224 West Yucca Street; and 1765, 1771, 1777, and 1779 North Vista del Mar Street) in the Hollywood community of the City of Los Angeles, approximately five miles northwest of Downtown Los Angeles as shown on **Figure 1, Regional and Local Project Vicinity Location Map**. The Project Site is bounded by Yucca Street, Hotel Argyle, and 3-story residential lofts to the north; North Vista del Mar Street and 1- and 2-story single-family residences and duplexes to the east; vacant land (former Little Country Church of Hollywood) and 1- and 2-story single-family residences and duplexes followed by a 5-story mixed-use residential and commercial development to the south; and Argyle Avenue and the 16-story Yucca Street Condos project to the west. **Figure 2, Aerial Photograph**, illustrates the surrounding uses.

C. PROJECT DESCRIPTION

Riley Realty, L.P. (the Applicant) proposes to redevelop the Project Site with a mixed-use residential, hotel, and commercial/restaurant project (Project). Constructed with contemporary materials including tinted glass, stucco, aluminum, and fiber cement boards, the Project consists of two buildings: Building 1, a 20-story contemporary style building, and Building 2, a contemporary Prairie style three-story building. Oriented with Building 1's primary elevation facing towards Yucca Street, the Project is intended to interact with commercial

development, is similar in scale, massing, and use, and located along Argyle Avenue and Yucca Street. The total development would include 316,948 square feet of residential, hotel and commercial/restaurant uses developed within two buildings, Building 1, with a mix of residential, hotel and commercial/restaurant uses, and Building 2, a residential only building. Parking would be provided within a six-level parking structure housed within the podium structure of Building 1 and for Building 2 parking would be provided in its two-level podium structure within the ground level and one subterranean level. The Project plans are included in Appendix A.

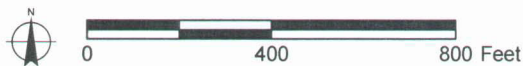
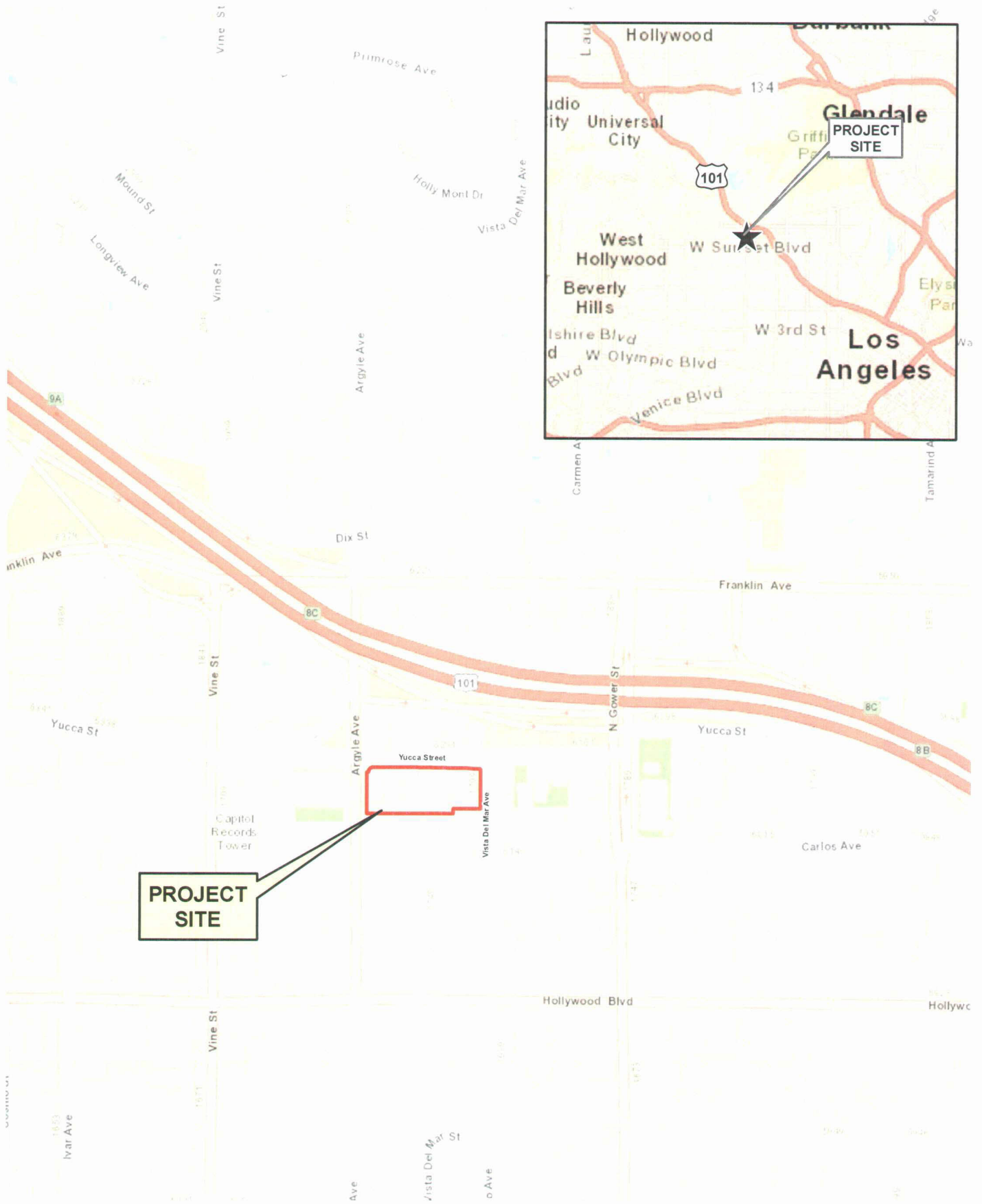
D. METHODOLOGY

This Report was conducted by ESA's Historic Resources Division personnel, including Margarita C. Jerabek, Ph.D., Director of Historic Resources, Amanda Y. Kainer, M.S., Senior Architectural Historian, Chris Taylor, M.H.P, Assistant Architectural Historian, and Adam F. Rajper, M.S., Architectural Historian Technician whom meet and exceed the Secretary of the Interior's Professional Qualification Standards in history and architectural history.¹ Professional qualifications are provided in Appendix I of this report.

The historical resources evaluation involved a review of the National Register and its annual updates, the California Register, the Statewide Historical Resources Inventory ("HRI") database maintained by the State Office of Historic Preservation ("OHP"), and the City of Los Angeles's inventory of historic properties to identify any previously recorded properties within or near the Project Site, as well as environmental review assessments for other projects in the vicinity. An intensive pedestrian survey was also undertaken to document the existing conditions of the property and Project vicinity. In addition, the following tasks were performed for the study:

- Searched records of the National Register, California Register, City of Los Angeles Historic-Cultural Monuments ("LAHCM") designations, the Hollywood Community Plan Area Historic Resources Survey, and SurveyLA.
- Conducted field inspections of the study area and the subject property, and utilized the survey methodology of the State OHP.
- Photographed the subject property and examined other properties in the area that exhibited potential architectural and/or historical associations.
- Conducted site-specific research on the property utilizing building permits, assessor's records, Sanborn fire insurance maps, City directories, historical photographs, California Index, Avery Index, Online Archive of California, USC Digital Collections, historical Los Angeles Times, and other published sources. Conducted research at the City of Los Angeles Department of Building and Safety ("LADBS") and Los Angeles County Assessor.
- Reviewed and analyzed ordinances, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation, designation assessment processes, and related programs.
- Evaluated potential historic resources based upon criteria used by the National Register, California Register, and City of Los Angeles Cultural Heritage Ordinance.
- Assessed the Project against the CEQA thresholds for determining the significance of impacts to historical resources.

¹ *The Professional Qualification Standards are requirements used by the National Park Service and have been published in the Code of Federal Regulations ("CFR"), 36 CFR Part 61.*



Regional Location Map

6220 West Yucca Project
Source: ESRI Street Map, 2009; PCR Services Corporation, 2015.

FIGURE

1



II. REGULATORY FRAMEWORK

Cultural resources fall within the jurisdiction of the federal, state, and local designation programs. Federal laws provide the framework for the identification, and in certain instances, protection of cultural resources. Additionally, state and local jurisdictions play active roles in the identification, documentation, and protection of such resources within their communities. The National Historic Preservation Act (NHPA) of 1966, as amended and the California Public Resources Code (PRC), Section 5024.1, are the primary federal and state laws and regulations governing the evaluation and significance of cultural resources of national, state, regional, and local importance. Descriptions of these relevant laws and regulations are presented below.

A. Federal Eligibility Criteria and Integrity Aspects

National Register of Historic Places

The National Register was established by the NHPA as “an authoritative guide to be used by federal, state, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment.”² The National Register recognizes properties that are significant at the national, state, and/or local levels.

To be eligible for listing in the National Register, a resource must be significant in American history, architecture, archaeology, engineering, or culture. Four criteria for evaluation have been established to determine the significance of a resource:

- A. Associated with events that have made a significant contribution to the broad patterns of our history;
- B. Associated with the lives of persons significant in our past;
- C. Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
- D. Yields, or may be likely to yield, information important in prehistory or history.³

Districts, sites, buildings, structures, and objects that are 50 years in age must meet one or more of the above criteria and retain integrity (that is, convey their significance) to be eligible for listing.

Under the National Register, a property can be significant not only for the way it was originally constructed, but also for the way it was adapted at a later period, or for the way it illustrates changing tastes, attitudes, and uses over a period of time.⁴

Within the concept of integrity, the National Register recognizes seven aspects or qualities that, in various combinations, define integrity: Location, Design, Setting, Materials, Workmanship, Feeling, and Association:

² 36 CFR Section 60.2.

³ “Guidelines for Completing National Register Forms,” in *National Register Bulletin 16, U.S. Department of Interior, National Park Service, September 30, 1986. This bulletin contains technical information on comprehensive planning, survey of cultural resources and registration in the NRHP.*

⁴ *National Register Bulletin 15, p. 19.*

Location is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved.

Design is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount and style of ornamental detailing; and arrangement and type of plantings in a designed landscape.

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historic role. It involves *how*, not just *where*, the property is situated and its relationship to surrounding features and open space.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. A property must retain key exterior materials dating from the period of its historic significance.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character.

Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer.⁵

To retain historic integrity, a property will always possess most of these seven aspects, and depending upon its significance, retention of specific aspects of integrity may be paramount for a property to convey its significance.⁶ Determining which of these aspects are most important to a particular property requires knowing why, where and

⁵ *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*, 44-45, <http://www.nps.gov/nr/publications/bulletins/pdfs/nrb15.pdf>, accessed July 7, 2013.

⁶ *The National Register defines a property as an "area of land containing a single historic resource or a group of resources, and constituting a single entry in the National Register of Historic Places." A "Historic Property" is defined as "any prehistoric or historic district, site, building, structure, or object at the time it attained historic significance." Glossary of National Register Terms*, http://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a_appendix_IV.htm, accessed June 1, 2013.

when a property is significant.⁷ For properties that are considered significant under National Register Criteria A and B, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (“*National Register Bulletin 15*”) explains, “a property that is significant for its historic association is eligible if it retains the essential physical features that made up its character or appearance during the period of its association with the important event, historical pattern, or person(s).”⁸ In assessing the integrity of properties that are considered significant under National Register Criterion C, *National Register Bulletin 15* states, “a property important for illustrating a particular architectural style or construction technique must retain most of the physical features that constitute that style or technique.”⁹

B. State Register and Eligibility Criteria

1. California Register of Historical Resources

The OHP, as an office of the California Department of Parks and Recreation (DPR), implements the policies of the NHPA on a statewide level.

The OHP also carries out the duties as set forth in the PRC and maintains the Historic Resources Inventory (HRI) and the California Register of Historical Resources (California Register). The State Historic Preservation Officer (SHPO) is an appointed official who implements historic preservation programs within the state’s jurisdictions.

Also implemented at the state level, CEQA requires projects to identify any substantial adverse impacts which may affect the significance of identified historical resources.

The California Register was created by Assembly Bill 2881 which was signed into law on September 27, 1992. The California Register is “an authoritative listing and guide to be used by state and local agencies, private groups, and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change.”¹⁰ The criteria for eligibility for the California Register are based upon National Register criteria.¹¹

The California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed on the National Register and those formally Determined Eligible for the National Register;¹²
- California Registered Historical Landmarks from No. 770 onward;

⁷ *National Register Bulletin 15*, p. 44.

⁸ “A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property’s historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.” *Ibid*, p. 46.

⁹ “A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style.” *Ibid*.

¹⁰ PRC Section 5024.1(a).

¹¹ PRC Section 5024.1(b).

¹² PRC Section 5024.1(d).

- Those California Points of Historical Interest (“PHI”) that have been evaluated by the OHP and have been recommended to the State Historical Commission for inclusion on the California Register.¹³

Other resources which may be nominated to the California Register include:

- Individual historical resources;
- Historical resources contributing to historic districts;
- Historical resources identified as significant in historical resources surveys with significance ratings of Category 1 through 5;
- Historical resources designated or listed as local landmarks, or designated under any local ordinance, such as an HPOZ.¹⁴

To be eligible for the California Register, a historical resource must be significant at the local, state, or national level, under one or more of the following four criteria:

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
4. Has yielded, or may be likely to yield, information important in prehistory or history.¹⁵

Additionally, a historic resource eligible for listing in the California Register must meet one or more of the criteria of significance described above and retain enough of its historic character or appearance to be recognizable as a historic resource and to convey the reasons for its significance. Historical resources that have been rehabilitated or restored may be evaluated for listing. Integrity is evaluated with regard to the retention of the same seven aspects of integrity as the National Register: location, design, setting, materials, workmanship, feeling, and association. Also like the National Register, a resource must be judged with reference to the particular criteria under which the resource is proposed for eligibility. Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance. It is possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.¹⁶

2. California Historical Resources Status Codes

The California State OHP developed National Register Status Codes in 1975 as a standardized system for classifying historical resources in the state's Historic Resources Inventory. In 2003 these codes were revised to reflect the application of California Register and local criteria and the name was changed to California Historical Resource (“CHR”) Status Codes. CHR Status codes consist of three digits and are assigned to properties or historic districts through a survey process and as a result of varying regulatory processes. The first digit ranges from 1-7. Code categories 1-5 reflect properties determined eligible for designation according to the criteria established for

¹³ *Ibid.*

¹⁴ *PRC Section 5024.1(e)*

¹⁵ *PRC Section 5024.1(c).*

¹⁶ *Codified in California Code of Regulations, Title 14, Chapter 11.5, Section 4852(c) which can be accessed on the internet at <http://ohp.parks.ca.gov>*

the National Register, California Register and local government criteria for significance. Code categories 6-7 generally identify properties that do not meet established criteria for significance, have not been evaluated, or need to be reevaluated. The code categories are as follows:

1. Properties listed in the National Register or the California Register;
2. Properties determined eligible for listing in the National Register or the California Register;
3. Appears eligible for National Register or the California Register through survey evaluation;
4. Appears eligible for the National Register or the California Register through other evaluation;
5. Properties recognized as historically significant by local government;
6. Not eligible for listing or designation as specified; and
7. Not evaluated for the National Register or California Register or needs re-evaluation.

The second digit of the CHR Status Code is a letter code indicating whether the resource is separately eligible (S), eligible as part of a district (D), or both (B). The third digit is a number that is used to further specify significance and refine the relationship of the property to the National Register and/or California Register. Under this evaluation system, categories 1 through 4 pertain to various levels of National Register and California Register eligibility. Locally eligible resources are given a rating code level 5. Properties found ineligible for listing in the National Register, California Register, or for designation under a local ordinance are given an evaluation Status Code of 6. Properties given an evaluation CHR Status Code of 6Z are “found ineligible for the National Register, California Register, or Local designation through survey evaluation.”¹⁷

3. Criteria and Procedures for Removal of an Historical Resource from the California Register of Historical Resources.

Historical resources are formally determined eligible for, or listed in, the California Register on the basis of an evaluation of the historical data by qualified professionals. The Commission may, at its discretion, consider a request for formal delisting after a public hearing has taken place.¹⁸

(a) The Commission may remove an historical resource from the California Register if one of the following criteria is satisfied:

- (1) The historical resource, through demolition, alteration, or loss of integrity has lost its historical qualities or potential to yield information; or
- (2) New information or analysis shows that the historical resource was not eligible at the time of its listing.

(b) Documentation supporting a request for removal of an historical resource from the California Register shall be provided to the Commission for its review. The documentation shall include:

- (1) A written request from the Officer, resource owner, a member of the public, or local government in which the historical resource is located recommending the removal of the resource, including a detailed justification based on the criteria listed in Section 4856(a)(1) or (2);

¹⁷ *Ibid.*

- (2) Photographs and other documentation regarding the current condition of the historical resource;
 - (3) Photographic and archival documentation of the historical resource at the time of listing; and
 - (4) Complete current ownership information for historical resources included in the listing.
- (c) The Office shall notify the resource owners, the local government in which the historical resource is located, the general public, and the individual, organization, or government authority which made the original nomination at least sixty (60) calendar days prior to the date scheduled for the public hearing. At the hearing, the Commission shall hear comments and receive information regarding whether or not the criteria for removal of an historical resource from the California Register have been met. If the criteria have been met, the resource shall be removed from the California Register. If the criteria for removal have not been met, the historical resource shall remain in the California Register. The decision of the Commission shall be final unless a request for reconsideration is made pursuant to Section 4857 of this chapter.
- (d) The Office shall notify the resource owners, the local government described above, the general public, and the individual, organization, or government agency which made the original nomination within sixty (60) days after reaching a final decision. The decision of the Commission shall be binding.

C. Local Cultural Heritage Ordinance and Eligibility Criteria

City of Los Angeles

The City enacted a Cultural Heritage Ordinance in April 1962 which defines Historic-Cultural Monuments. According to the Cultural Heritage Ordinance, Historic-Cultural Monuments are sites, buildings, or structures of particular historic or cultural significance to the City in which the broad cultural, political, or social history of the nation, state, or City is reflected or exemplified, including sites and buildings associated with important personages or which embody certain distinguishing architectural characteristics and are associated with a notable architect. These Historic-Cultural Monuments are regulated by the City's Cultural Heritage Commission and the City Council.

a. Los Angeles Cultural Heritage Ordinance Eligibility Criteria

The Los Angeles City Council adopted the Cultural Heritage Ordinance in 1967 and amended it in 2007 (Los Angeles Administrative Code, Chapter 9, Division 22, Article 1, Section 22.171.7). The Cultural Heritage Ordinance establishes criteria for designating a local historical resource as an HCM. An HCM is any site (including significant trees or other plant life located on the site), building or structure of particular historic or cultural significance to the City, including historic structures or sites:

- In which the broad cultural, economic or social history of the nation, State or community is reflected or exemplified; or
- Which is identified with historic personages or with important events in the main currents of national, State or local history; or

- Which embodies the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period, style or method of construction; or
- Which is a notable work of a master builder, designer, or architect whose individual genius influenced his or her age.

b. Los Angeles Historic Preservation Overlay Zone (HPOZ) Criteria for Designation

Municipal Code, describes the procedures for the creation of new Historic Preservation Overlay Zones (HPOZs), the powers and duties of HPOZ Boards, and the review processes for projects within HPOZs. The Ordinance was amended by the Los Angeles City Council on April 25, 2017, and became effective on June 17, 2017.¹⁹ An HPOZ is an area of the City which is designated as containing structures, landscaping, natural features or sites having historic, architectural, cultural or aesthetic significance. Before an HPOZ may move into the formal adoption process, an historic resources survey of the proposed district must be completed. The survey studies the historic and architectural significance of the neighborhood and identifies structures and features as either “contributing” or “non-contributing” to the district. According to Section 12.20.3 of the City of Los Angeles Municipal Code, features designated as contributing shall meet one or more of the following criteria:

- Adds to the Historic architectural qualities or Historic associations for which a property is significant because it was present during the period of significance, and possesses Historic integrity reflecting its character at that time; or
- Owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community or city; or
- Retaining the building, structure, Landscaping, or Natural Feature, would contribute to the preservation and protection of an Historic place or area of Historic interest in the City.²⁰

c. SurveyLA Eligibility Standards

SurveyLA was a citywide survey that identified and documented significant historic resources representing important themes in the City’s history. The survey and resource evaluations were completed by consultant teams under contract to the City of Los Angeles and the supervision of the OHR. The program was managed by the OHR, which maintains a website for SurveyLA.²¹ The field surveys covered the period from approximately 1850 to 1980 and included individual resources such as buildings, structures, objects, natural features and cultural landscapes as well as areas and districts (archaeological resources will be included in a future survey phase). Significant resources reflected important themes in the City’s growth and development in various areas including architecture, city planning, social history, ethnic heritage, politics, industry, transportation, commerce, entertainment, and others. Field surveys, conducted from 2010-2017, were completed in three phases by Community Plan Area. All tools and methods developed for SurveyLA met state and federal professional standards for survey work.

Los Angeles’ citywide Historic Context Statement (HCS) was designed for use by SurveyLA field surveyors and by all agencies, organizations, and professionals completing historic resources surveys in the city of Los Angeles. The context statement was organized using the Multiple Property Documentation (MPD) format developed by the

¹⁹ City of Los Angeles, Department of City Planning, Office of Historic Resources, “Citywide HPOZ Ordinance,” <http://www.preservation.lacity.org/hpoz/citywide-hpoz-ordinance>, accessed July 17, 2017.

²⁰ City of Los Angeles, Department of City Planning, Office of Historic Resources, “Citywide HPOZ Ordinance,” <http://www.preservation.lacity.org/hpoz/citywide-hpoz-ordinance>, accessed July 17, 2017, 13.

²¹ SurveyLA: Los Angeles Historic Resources Survey, <http://preservation.lacity.org/survey>, accessed January 5, 2017.

National Park Service (NPS) for use in nominating properties related by theme to the National Register. This format provided a consistent framework for evaluating historic resources. It was adapted for local use to evaluate the eligibility of properties for city, state, and federal designation programs and to facilitate environmental review processes.²² The HCS used Eligibility Standards to identify the character defining, associative features, and integrity aspects a property should retain to be a significant example of a type within a defined theme. Eligibility Standards also indicated the general geographic location, area of significance, applicable criteria, and period of significance associated with that type. These Eligibility Standards are guidelines based on knowledge of known significant examples of property types; properties do not need to meet all of them in order to be eligible. Moreover, there are many variables to consider in assessing integrity depending on why a resource is significant.

²² *Guide for Professionals Using the Historic Context Statement for Property Evaluations*, <http://preservation.lacity.org/sites/default/files/Guide%20for%20Professionals%20Using%20the%20Historic%20Context%20Statement%20Jan%202016%20.pdf>, accessed January 5, 2017.

III. HISTORIC CONTEXT

The historic context developed below presents the historical background necessary to evaluate the historical and architectural significance of the Project Site. This section includes a brief overview of historical themes associated with the Project Site including Streetcar Suburbanization (1888-1933), American Craftsman Style Architecture (1905-1930), and Courtyard Apartments (1910-1980). The historic context is organized to correspond with the SurveyLA Historic Context Statement and is tailored to reflect the local history of the Project Site.

1. Streetcar Suburbanization, 1888-1933: Neighborhood

a. Hollywood

The regional land boom of the late 1880s resulted in the founding of many cities and town sites in Southern California. Hollywood, an unincorporated town site located approximately six miles northwest of downtown Los Angeles, was platted on a 120-acre tract purchased by Harvey Wilcox in 1886. Wilcox's 1887 subdivision was centered at Hollywood and Cahuenga Boulevards and, though not immediately successful, real estate sales continued after Wilcox's death in 1891. Prior to its renown as the capital of the motion picture industry, Hollywood was first known as a "tropical" residential suburb with gardens and tree-lined drives. The town expanded to include the land between the lower hillsides and Fountain Avenue, and between Normandie and Fairfax Avenues, and was incorporated as a city in 1903. In 1910, Hollywood was consolidated with the City of Los Angeles, achieving its status as the "Mecca of the motion picture industry" in the 1920s.²³

Inter-urban and streetcar routes radiating from downtown Los Angeles to surrounding areas encouraged the subdivision and development of numerous communities in the region. For example, starting in 1900, the Pacific Electric Railway extended its route to include Hollywood Boulevard from Vermont Avenue to La Brea Avenue, making accessible the center of Hollywood and spurring land sales, subdivisions, and residential and commercial construction.²⁴ Seven years later, in 1911, the first motion picture was produced in Hollywood and by 1925 many of the industry's primary studios were located within its boundaries, creating a strong local demand for housing. Thus, the entertainment industry became the economic engine of the Hollywood area and a key stimulant of growth and housing demand in the first decades of the twentieth century. Also during this time period, due to the presence of the Pacific Electric Railway that ran down its middle, Hollywood Boulevard became the area's major commercial thoroughfare.²⁵

b. Del Mar Tract

The 1905 Del Mar Tract map (Appendix B) shows that the area was originally subdivided without Vista del Mar Street running perpendicular between Yucca Street (originally known as Larquier Avenue) and Carlos Avenue. Historic maps document the settlement and development of the area. A 1913 Sanborn map shows the area sparsely developed with only two single family residences on the south side of Yucca Street, including the Albert G. Bartlett residence (Figure 3), discussed in greater detail below. Vista del Mar Street was added later

²³ Excerpted from "Historic Context Statement: The Metro Center Subregional Planning Area of the City of Los Angeles," prepared for the Los Angeles Conservancy by Historic Resources Group, revised September, 1990.

²⁴ Twenty-two individual tracts located in Hollywood between Vine Street (west) and Western Avenue (east), and Franklin Avenue (north) and Fountain Avenues (south), are identified in the Los Angeles County Assessor's Book No. 220, Index, 1902-1913.

²⁵ *Ibid.*

in 1913 when the area was re-subdivided as Tract 2209 (Appendix B) by property owners Josephine and Elias Twist.

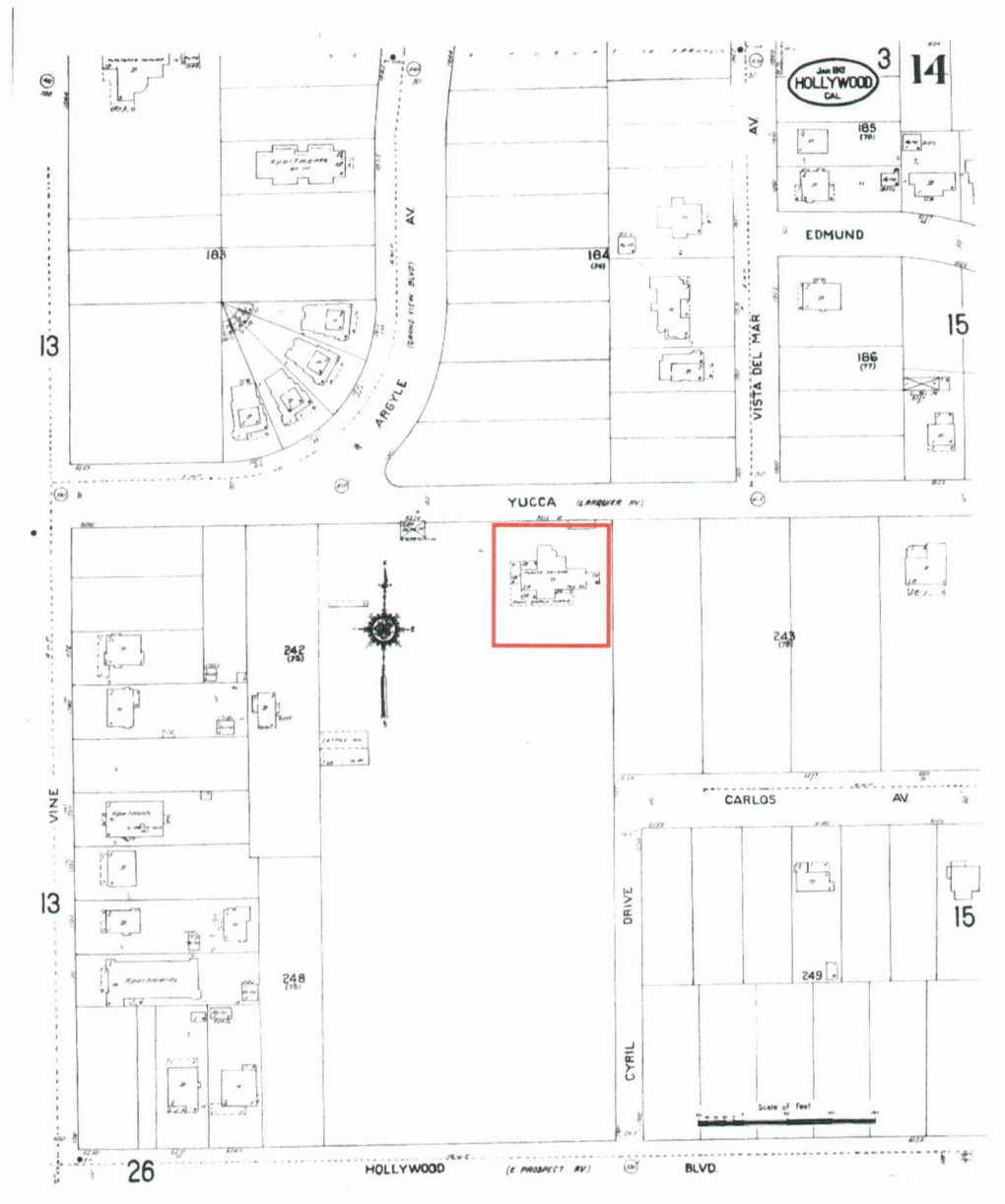


Figure 3. 1913 Sanborn Map, Vista del Mar Ave was not connected to Carlos Ave. until later, The Bartlett Residence is outlined in red. (Los Angeles Public Library, Sanborn Insurance Map Collection)

Shortly after Vista del Mar Street was added to the tract, the area became fully developed. A Sanborn map from 1919 depicts ten of the twelve lots flanking Vista del Mar Street containing single-family residences ((Figure 4)). The map also shows all of the currently extant residences along the south side of nearby Carlos Avenue (included in the Vista del Mar-Carlos Historic District). In 1920, the home at 1771 Vista del Mar Street was constructed. In 1922, the last available lot in Tract 2209 was developed with a single family residence at 1763 Vista del Mar Street.

East of the Del Mar Tract and Tract 2209 was Tract 3148, which was purchased by Albert G. Bartlett and subdivided in 1917 (Appendix B). Bartlett, the owner of Bartlett Sheet Music in downtown Los Angeles, built a large home on the seven-acre parcel (Figure 3), where he lived until his death in 1923. “Many considered the fifteen-thousand-square-foot Bartlett home one of the finest of the era. It had a reception room, a library and a music hall that seated an audience of two-hundred-and-fifty for Mr. Bartlett’s opera-singing daughter.”²⁶ Surrounding the extravagant home were gardens exhibiting Bartlett’s interest in botany. The Bartlett residence is depicted in the 1913 and 1919 Sanborn maps (Appendix C).

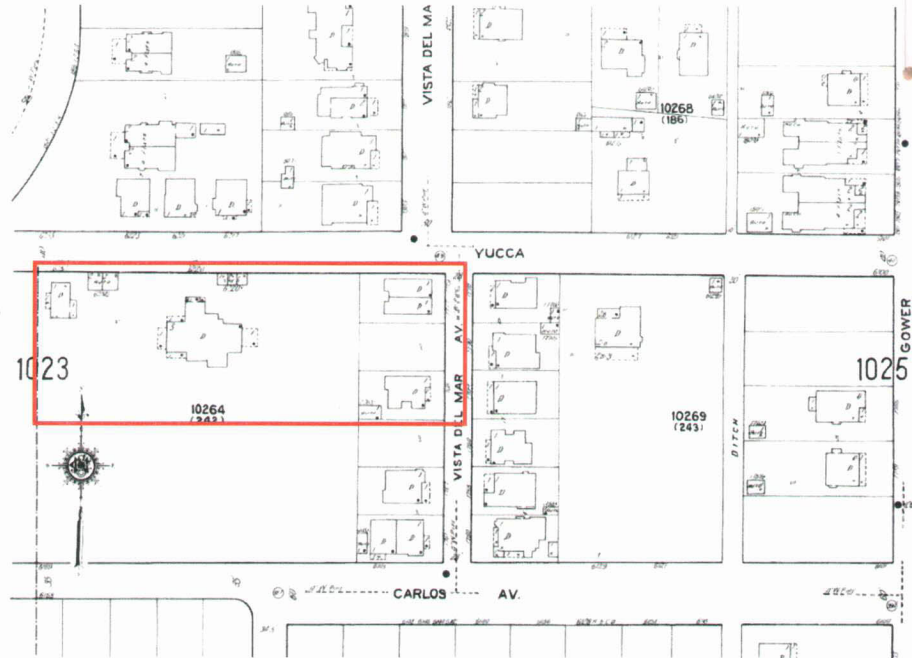


Figure 4. 1919 Sanborn Map, Vista del Mar Ave was beginning to fill in with residences, The Project Site is outlined in red. (Los Angeles Public Library, Sanborn Insurance Map Collection)

In 1929, six years after Bartlett’s passing, the area was re-subdivided as Tract 10149 (Appendix B). The new layout included Argyle Avenue as it is seen today and divided the Bartlett property into four lots. A 1950 Sanborn map shows the former Bartlett property occupied by the Country Church of Hollywood in lot 2 of the new subdivision.

Population pressures in the Hollywood area influenced changing building types (single-family to multi-family residential) during the early post-war era. There were two primary catalysts responsible for this change. First, the Hollywood Freeway was located in close proximity to this area and second, the local perception of Hollywood as the nexus of the motion picture industry declined during this period, resulting in Hollywood and Sunset boulevards losing their desirability as entertainment and shopping venues. Many local residents came to perceive the central Hollywood area as downtrodden and tawdry, popular only with unsophisticated tourists and starry-eyed newcomers. Demographic changes, continued economic decline, and increased population pressures in the latter half of the twentieth century led to the replacement of large numbers of single-family residences with multi-family dwellings in the non-hillside areas of Hollywood, including the area in which the subject properties are located. By 1953, the Bartlett property was redeveloped with a large

²⁶ Gregory Paul Williams, *The Story of Hollywood: An Illustrated History*, North Hollywood: BL Press, LLC, p. 34.

garden apartment complex (the Yucca Argyle Apartments located on the Project Site) consisting of three buildings occupying lots 1 and 3 of Tract 10149, while the Country Church of Hollywood continued to occupy lot 2. The new buildings and Hollywood Freeway are depicted in a 1955 Sanborn map (Figure 5).

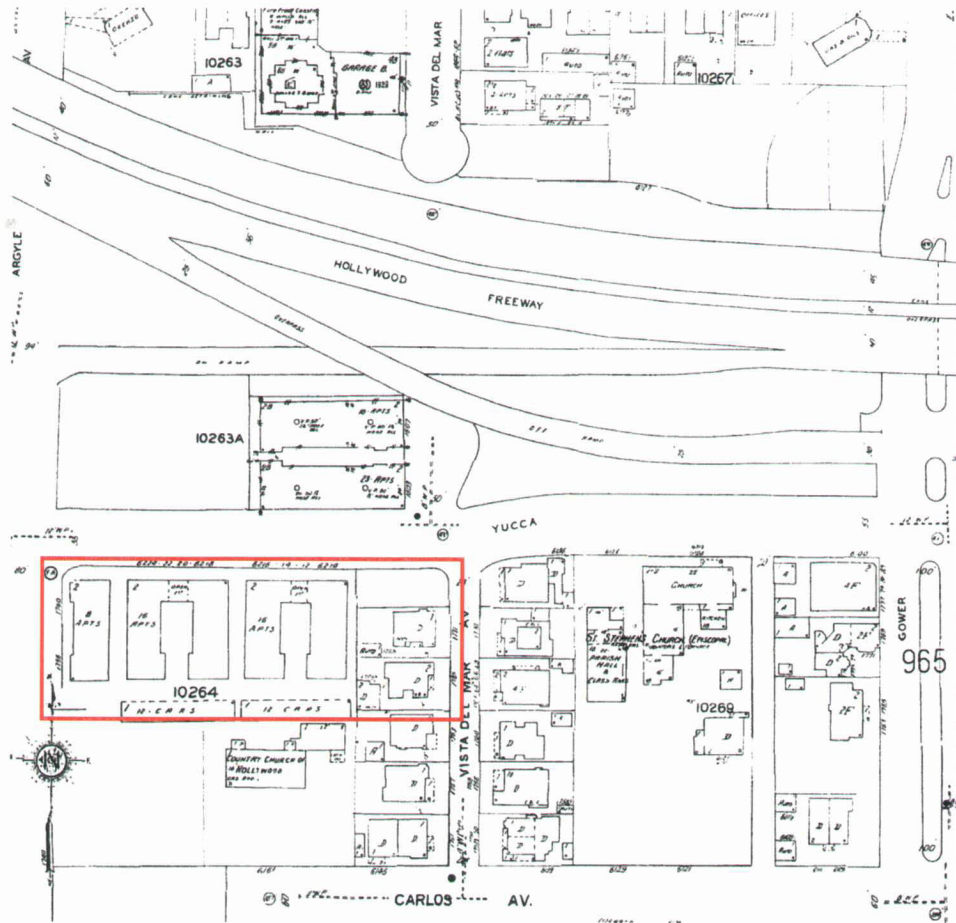


Figure 5. 1955 Sanborn Map, depicting the addition of the nearby Hollywood Freeway and the Yucca Argyle Apartments within the Project Site, The Project Site is outlined in red. (Los Angeles Public Library, Sanborn Insurance Map Collection)

2. American Craftsman Style Architecture (1905-1930)

The majority of contributors to the District represent the American Craftsman style. It was an architectural style derived from the Arts and Crafts Movement which originated in England during the second half of the nineteenth century as a reaction to nineteenth century industrial culture. The Arts and Crafts Movement called for a return to honesty and utility in design, handcrafted construction, and the use of natural materials. Advocates of the movement in England, including William Morris, argued that relying on handcrafted construction allowed each creation to be an individual work rather than a standardized industrial product. In the United States, the Arts and Crafts Movement included architecture, furniture, and decorative arts.

The Craftsman style was adaptable across socioeconomic categories and included both large finely crafted homes for the affluent class, and small modestly built cottages or bungalows for the working class. In contrast to earlier styles, the bungalow was intended for the servant-less household and could be built by either an unskilled builder using plans from books or with kits fully cut and shipped from mail-order houses. The

Craftsman style was publicized extensively in lifestyle magazines of the period, which led to a flourishing of pattern books, some of which offered prefabricated “kit” components for on-site assembly such as products by Sears Roebuck and Company and Pacific Ready-Cut Homes. In other examples, architects and master builders used the architectural vocabulary of the Craftsman style to create complex and highly detailed residential architecture.²⁷

The architecture of the American Craftsman style was defined by its use of natural materials, hand craftsmanship, integration into the landscape, incorporation of the climate, and broad horizontality with multilevel eaves. Craftsman style single-family residences were once ubiquitous throughout the United States. However, because of their wide covered front porches, a key design feature that functioned as an outdoor room, Craftsman properties were especially popular in warmer areas of the country, such as Southern California. The typical Craftsman residence is one to one-and-one-half stories in height. Its character defining features include: low-pitched hipped or gabled roofs; wide, overhanging eaves; exposed rafter tails; decorative brackets, knee braces or false beams under gable pitches; full- or partial-front porch with tapered wood posts and/or masonry piers; shingle, clapboard or ship-lap siding; emphasis on natural materials such as stone, handcraftsmanship; emphasis on horizontality in design; and exposed structural members, often used as ornamentation.

During the first three decades of the 20th century, the Craftsman style bungalow was common in Los Angeles and the residential neighborhoods of Pasadena, South Pasadena, Santa Monica, Ocean Park and Venice. The Craftsman style has a generally recognized national period of significance of 1905 to 1930 during the time when this style was most common.²⁸ Craftsman single-family residences dating from 1905 to 1930 are associated with the architectural styles and culture of early 20th century residential architecture. They illustrate the broad influence of the Arts and Crafts Movement on the local architects, designers, and builders working in Los Angeles during the first few decades of the 20th century. Furthermore, they represent the identity and values of the occupants, who found in this style and method of construction a means by which to satisfactorily accommodate themselves and their families economically, and to express their individuality by selecting from and combining a wide variety of plans, window treatments, door treatments, porches, and architectural features then available.

3. Multi-Family Residential Development: 1950s-1960s Courtyard Apartment

a. Courtyard Apartments (1950s-1960s)

The Yucca Argyle Apartments are a typical example of a post-war multi-family residential complex constructed throughout the Los Angeles area and Southern California. Two of the three apartment buildings are arranged in a u-shaped footprint with central courtyards. Typically the Garden Apartment property type has two buildings arranged around a central landscaped courtyard as appeared in Los Angeles and throughout Southern California from the Depression-era 1930s through the 1950s. The origin of the Garden Apartment style reaches back to the Los Angeles region’s rapid growth in the early decades of the twentieth century when its predecessor, the bungalow court appeared and evolved as a building type. From its origins as tourist accommodations to its prevalence as high-density housing, the bungalow court became a common Southern California building type prior to World War II. Many of the earliest bungalow courts were located in popular

²⁷ “Santa Monica Historical Resources Inventory,” 1985-86 Final Report.

²⁸ Virginia McAlester and Lee McAlester, *A Field Guide to American Houses*, New York: Alfred A. Knopf, 1990.

tourist areas such as Pasadena and the Santa Monica area.²⁹ Bungalow courts integrated the automobile without allowing it to dominate the building environment. Typically, parking garages were located at the rear of the property with alleys or side service driveways providing access. This incorporation of the car into the complex was a major departure in the history of residential building and reflects the importance of the automobile in the region's culture.³⁰

The California climate profoundly influenced the architecture of the region, and the bungalow courts were no exception. Single-family houses had capitalized on the use of exterior space before the courts and provided a tradition on which the courts were built. Porches, patios, and balconies all became various ways to amplify interior spaces. Planting in both semi-public and private spaces became a developed art and helped create the overall ambiance of the court. The effect of landscaping was often to heighten the oasis-like quality of the court, further differentiating it from surrounding development.

b. Post-War Multi-Family Residential Architecture

Although influenced by the materials and aesthetics of post-war Modern Architecture, post-war multi-family residential architecture is generally less formal in its expression of Modern design features and materials. Common features of post-war apartment complexes in Southern California included rectilinear massing; flat or low-pitched hipped roofs; overhanging eaves; stucco finish and/or wood siding; natural rock veneers; metal-framed fixed, sliding and/or casement windows; cantilevered balconies or exterior walkways; and custom signage or themed imagery on the primary façade. Garden courts, landscaping, and swimming pools were often integrated into the site plan. Parking garages were either incorporated into the ground level of the apartment buildings or provided in a separate ancillary building. The post-war multi-family residences were largely constructed quickly for low costs to provide for the immediate housing needs during the post-war era. The design rationale for these ubiquitous post-war multi-family residences was to provide inexpensive housing using mass-produced building materials. Although some post-war multi-family residences have Modern-style open floor plans, functionally-organized façades, and glazed walls or ribbon windows, most do not.

4. Construction History

The building permits on file at the City of Los Angeles Department of Building and Safety were reviewed to determine the history of construction and alterations for the subject properties.

a. 1765 N. Vista del Mar Street

The earliest residence constructed on the subject properties was 1765 N. Vista del Mar Street (APN: 5546-031-007). Permits indicate an application for the residence's construction was filed on May 3rd, 1918 by Harold B. Dunn who was listed as the property owner and architect (Table 1). The 1919 Sanborn map for the area shows a single family residence with the same footprint as the existing building, however the Sanborn map indicates the residence was a single story dwelling. Additional permits from 1931 and 1935 document alterations to the residence's garage with the addition of a servant's quarters and conversion of the garage into a double garage. Also in 1935, a permit to expand the residence by adding a second floor was filed by property owner Alice Lee Montrose. The permit indicates the residence originally had a flat roof but the new second floor addition would add a gabled roof to the building. The 1951 and 1955 Sanborn maps show the

²⁹ Charles Alma Byers, "New Idea in Apartments." *Technical World*, Vol. 16 (February 1912).

³⁰ Laura Chase, "Eden in the Orange Groves: Bungalows & Courtyard Houses of Los Angeles." *Landscape*, Vol. 25, No. 3, pp. 29-36.

residence as a two-story structure. Other permits show interior alterations including tile work and a remodel in 2010 valued at \$10,000.

Table 1

1765 N. Vista del Mar Street Building Permits

Permit #	Date	Owner	Contractor	Architect/Engineer	Description	Valuation
1918LA02304	5/3/1918	Harold B. Dunn	Ramey Investment Co.	Harold B. Dunn	Application for erection of one-story frame building 32 x 48 x 16. Only building on lot.	\$3,000
19303	9/18/1931	Ralph Young	W.C. Garland	None	Addition of storage and heater room on north side of garage, servants quarters above.	\$1,000
22244	10/21/1931	Ralph young	Associated Contractors	None	Interior Tile	None
09131	5/31/1935	Alice Lee Montrose	None	None	Cut Garage Door in store room to make double garage	\$50.00
09130	5/31/1935	Alice Lee Montrose	None	None	Building now has flat roof-will raise walls higher and put gabled roof on to give space for a living room-breakfast room-kitchen-bedroom and bathroom on second floor.	\$3,000
12511	7/22/1935	Alice Lee Montrose	Les Daumann Tile Co.	None	Tile work	
1958LA95192	3/11/1958	None	John A. Johnson	None	Sandblasting for 40 x 40 x 20 foot high building	\$256
10016-20000-06133	4/8/2010	Deutsche Bank National Trust Co.	C&G Builders Inc.	None	Convert pantry to master bathroom, remodel kitchen, and install new flooring to single family dwelling.	\$10,000
10016-20001-06133	4/19/2010	Deutsche Bank National Trust Co.	C&G Builders Inc	None	Supplement to permit 10016-20000-06133 on 4/8/2010 to correct permit information: change use from SFD to apt.	None

b. 1771 N. Vista del Mar Street

The second building constructed on the Project Site is located at 1771 N. Vista del Mar Street (APN: 5546-031-008). On July 17, 1920, P.C. Gemert hired architect F. M. Tyler to erect a one-story residence (32' x 42') with a concrete foundation, clapboard siding, and a shingle roof (Table 2). In addition to the dwelling, Gemert had a small garage constructed (12' x 18') valued at \$200. While the residence is not indicated on the 1919 Sanborn map, it is depicted in 1951 and 1955. The 1951 Sanborn map indicates there was an open porch on the south elevation that was in-filled at an unknown date (no building permits is available for this alteration). In 1992, the original wood clapboard siding was removed and the exterior was sheathed with stucco. Also, in 1992, all of the windows were replaced. Additional permits show minor work for termite damage and replacement of the roof.

Table 2**1771 N. Vista del Mar Street Building Permits**

Permit #	Date	Owner	Contractor	Architect/E ngineer	Description	Valuation
10442	7/15/1920	P.C. Gemert	None	F. M. Tyler	32' x 42' structure with shingle roof meeting the provisions of the State Dwelling House Act.	\$4,800
10443	7/15/1920	P.C. Gemert	None	F. M. Tyler	Construction of 12' x 18' garage.	\$200.00
87490	2/4/1965	Frank Gentles	Hollywood Termite Control	None	Termite repairs	\$286.00
260	2/6/1992	Harry Rubinfeld	Jim Stas	None	Stucco and new windows the same size	\$2,000
LA 05016-20000-035667	3/2/2005	Rubinfeld Family Limited	Owner-Builder	None	T/O (E) Roof and install 1/2" CDX plywood and 30 SQS of class A composition shingles. Smoke detectors required. Valuation to be verified by the field inspector.	\$5,000

c. Yucca Argyle Apartments, 6210 Yucca Street

Permits show the Yucca Argyle apartment buildings were permitted on June 17, 1953. The applications were filed on behalf of the Junior Realty Company. The contractor on record was Carson Park Builders and Joseph Solomon was listed as the engineer. Due to a construction date of 1953, the Yucca Argyle Apartments are only depicted in the 1955 Sanborn map. Prior to their construction, the property was occupied by a residence built by Albert G. Bartlett. Nonetheless, only permits pertaining to the existing buildings were reviewed. Aside from their construction in 1953, very little work has been done to the Buildings. Permits show the construction of three apartment buildings and garages as well as roof maintenance in 2000 and 2002. In 1973, the property owner requested a permit to make repairs to an apartment due to fire damage.

Table 3

Yucca Argyle Apartments at 6210 Yucca Street Building Permits

Permit #	Date	Owner	Contractor	Architect/Engineer	Description	Valuation
1953LA62 499	6/17/1953	Junior Realty Company	Carson Park Builders	Joseph Solomon, engineer	Application to erect a new building: 16 unit frame and stucco apartment building, two stories, 91 x 38 x 25' high on empty lot size 105 x 142.89. Notes on reconfiguring of Parcel C Lot 2 of tract 10144(?) deeding it to State of CA for road purposes	\$269,500
1953LA62 500	6/17/1953	Junior Realty Company	Carson Park Builders	Joseph Solomon, engineer	16 unit apartment building with 12 garages. Notes on reconfiguring of Parcel B lots in tract 10144(?) deeding it to State of CA for road purposes.	None
1953LA62 501	6/17/1953	None	Carson Park Builders	Joseph Solomon, engineer	Application to erect a new building: 8 unit with 5 parking spaces frame and stucco apartment building, two stories 91x38 x 25' high on empty lot size 64.92x142.89. Notes on reconfiguring of Parcel A in tract 10144(?) deeding it to State of CA for road purposes.	\$49,500

Table 3 (Continued)

Yucca Argyle Apartments at 6210 Yucca Street Building Permits

Permit #	Date	Owner	Contractor	Architect/E ngineer	Description	Valuation
1953LA62 502	6/17/1953	Junior Realty Company	Carson Park Builders	Joseph Solomon, engineer	Application to erect a 12-car frame and stucco garage 12' feet high on a 105x142.89 empty lot. Notes on reconfiguring Parcel B in tract 10144(9?) deeding it to State of CA for road purposes.	\$269,500
1953LA62 503	6/17/1953	Junior Realty Company	Carson Park Builders	Joseph Solomon, engineer	Application to erect a 12-car frame and stucco garage 12' feet high on a 105x142.89 empty lot. Application to erect Notes on Parcel C in tract 10144(9?)	\$5,000
1953LA70 368	9/1/1953	Yucca Argyle Apartments	None	Joseph Solomon, engineer	Alter footing to span filled ground condition fortwo 20x 100 x 11' high garages.	\$100
1953LA70 369	9/1/1953	Yucca Argyle Apartments	None	Joseph Solomon, engineer	Alter footing to span filled ground condition fortwo 20x 100 x 11' high garages.	\$150
1953LA62 500	1/12/1954	Junior Realty Company	None	None	Two-story, Type V, 91 x 38 apartment house, 16 apartments, 11 required parking spaces, F-2 occupancy.	None
1953LA62 502	1/12/1954	Junior Realty Company	None	None	One-story, Type V, 12- car garage, J-1 occupancy.	None
1973LA67 144	3/13/1973	Consolidated Hotels of California	R. M. Singer Construction	None	Repair fire damage in apartment D	\$1,100
1986LA35 389	4/24/1986	Harry Rubinfeld	A. J. Roofing	None	Nail 1 ply 40# base, hot mop 2 ply 11# plysheet roof.	\$3,500
1990H006 482	6/26/1990	None	None	None	Permit address change from 6210- 6224 Yucca and 1756- 1760 Argyle to 6210- 6224 Yucca Street and 1756-1760 Argyle Avenue.	None

Table 3 (Continued)

Yucca Argyle Apartments at 6210 Yucca Street Building Permits

Permit #	Date	Owner	Contractor	Architect/Engineer	Description	Valuation
00016-20000-04067	3/9/2000	Rubinfeld, Harry and Frances Trs Rubino	Toldi S. Construction	None	T/O (E) Roof, re-roof with BUR system Class A smoke detectors required.	\$3,700
02016-20000-19111	9/26/2002	Rubinfeld Family Lmt'd Ptnshp	owner/builder	None	T/O (E) Roof, install built up roof system class A. Smoke detectors required. Single family dwelling.	\$3,700
02016-10000-21420	10/28/2002	Rubinfeld Family Lmt'd Ptnshp	Aidos Roofing	None	Reroof apartment with 20 yr composite shingle shake.	\$9,000
02016-10000-21422	10/28/2002	owners	Aidos Roofing	None	Reroof apartment with 20 yr composite shingles	\$4,900

5. Ownership History

The Los Angeles city directories and building permits on file at the City of Los Angeles Department of Building and Safety were reviewed to determine the ownership and occupancy history the three subject buildings. In some cases, a representative of the owner may have filed a permit. There does not appear to be any evidence that any owner of the three subject buildings were historically significant at the local, state, or national level. Under occupancy and ownership description for each building is a table summarizing that history.

a. 1765 N. Vista del Mar Street

The subject property's original owner (1918) was Harold B. Dunn, who was also the Residence's architect. After Dunn, occupancy of the Residence saw a high turn-over rate in the 1920s. William Freeman occupied the Residence for 2 years followed by Jas Hum, Madlyn Elkins, Gunther Lessing, and Carrie Hoyle. In 1931, Ralph Young lived at 1765 N Vista del Mar before selling the property to Alice Montrose. Alice occupied the Residence for ten years and converted it from a one-story single-family residence into a two-story multi-family dwelling. In 1938, Douglas and Ruth Greeley occupied Montrose's second floor apartment. Table 4 below summarizes the ownership history.

Table 4

1765 N. Vista del Mar Street Ownership Based on Building Permits and Los Angeles City Directories

Year	Name
1918	Harold B. Dunn
1920-22	William Freeman
1923-24	Jas Hum (Photo Player)
1925	Madlyn Elkins
1926	Gunther Lessing (Attorney)
1928	Carrie Hoyle
1931	Ralph Young
1932-42	Alice Lee. Montrose
1938	Douglas and Ruth Greeley (1765 ½ Vista Del Mar)
1956	Marjorie Tripp

b. 1771 N. Vista del Mar Street

The subject property's original owner (1920) was listed as P. C. Gemert on the original building permit, although the document is difficult to read. City directories during the 1920s show a high level of turn-over for the Residence's occupants. Occupants include Oscar Miller, George Whitney, and Lewis Clarke and his maid Isabel Hodge. In 1929, the Leavelle family rented the home, followed by the McCollum family in 1934. A building permit filed in 1965 identified Frank Gentles as the property owner. The most recent permit lists the Rubinfeld family as the property's owner (1992), who also owned the adjacent apartment complex on the Project Site in 1986. Table 5 below summarizes the ownership history.

Table 5

**1771 N. Vista del Mar Street Ownership Based on Building Permits and
Los Angeles City Directories**

Year	Name
1920	P. C. Gemert
1922	Oscar W. Miller
1926-27	George A Whitney (Salesman)
1928	Lewis Clarke
1928	Isabel Hodge (Maid)
1929	Arnard B. and Mildred Leavelle (Dentist)
1934	Hugh G. and Florence M. McCollum
1956	Pat Stevens
1965	Frank Gentles
1992	Rubinfeld Family

c. Yucca Argyle Apartments, 6210 Yucca Street

The subject property's original owner (1953) was the Junior Realty Company. Building permits filed after the date of the building's construction show Consolidated Hotels of California as the property's owners, followed by the Rubinfeld family in 1986. The Rubinfeld family also owned the residence at 1771 Vista del Mar Street as they are noted as owners on the 1992 and 2005 building permits. Table 6 below summarizes the ownership history.

Table 6

Yucca Argyle Apartments Ownership Based on Building Permits

Year	Name
1953	Junior Realty Company
1973	Consolidated Hotels of California
1986-2002	Rubinfeld Family

Table 7 below summarizes the Yucca Argyle Apartments' occupancy. City directories between 1956 and 1965 were reviewed to identify the various occupants of each unit. There does not appear to be any evidence that any occupants were historically significant at the local, state, or national level.

Table 7

Yucca Argyle Apartments Occupants Based on Los Angeles City Directories

Year	Unit	Name
1956	6210 – Apt B	E. F. Johnson
1956	6210 – Apt C	Walter Craig
1956-65	6210 – Apt D	Franklin Clune
1956	6214 – Apt A	Henry Masoero

Table 7 (Continued)

Yucca Argyle Apartments Occupants Based Los Angeles City Directories

Year	Unit	Name
1956	6214 – Apt B	B. A. Moore
1956	6214 – Apt C	Chas Adair
1956	6216 – Apt A	Danny Dare
1956	6216 – Apt C	Ross B. Piles
1956	6216 – Apt D	Jas Hanrahan
1956	6218 – Apt A	Louis Kahane
1956	6218 – Apt C	Donald E. Arnold, Joy Lindeberg
1956-65	6218 – Apt D	Morris Kruschen
1956	6220 – Apt A	Jane A. Pettit
1956-60	6220 – Apt B	Thomas Devaney, Maureen Price
1956	6220 – Apt C	Lloyd Hamill
1956	6220 – Apt D	Gerald Pranger, M. R. Sousa
1956	6222 – Apt A	Harvey Tait
1956	6222 – Apt C	Marry McCormack
1956	6222 – Apt D	Philip VanderKarr
1956	6224 – Apt B	Claire Hunt
1956-60	6224– Apt C	Joan Machinsky
1960	6210 – Apt A	Sven Johnson
1960	6210 – Apt B	Jessie B Bush
1960-62	6212 – Apt B	W. J. Bingham
1960	6212 – Apt D	Neil Thomson
1960-65	6214 – Apt A	Bess Prude
1960	6214 – Apt C	Alton and Fred Clanton
1960-65	6214 – Apt D	David Lagler
1960	6216 – Apt A	Florence Waltz
1960	6216 – Apt C	Wanda Pawluk
1960	6216 – Apt D	David Dunlap, Tommy O'Steen
1960-62	6218 – Apt A	Catherine Field
1960	6218 – Apt B	Bert Rhine
1960	6218 – Apt C	Raimond C Johnson
1960	6220 – Apt A	Bert Dagg
1960-65	6220 – Apt C	J. L. Timmers
1960-65	6220 – Apt D	Harold and Irene Becker
1960-65	6222 – Apt A	G. D. Hibbs
1960-65	6222 – Apt B	Harriett Peters
1960-62	6222 – Apt C	Aline McLaughlin
1960-65	6222 – Apt D	Paul Mart, W. E. Sheldon
1960-65	6224 – Apt A	Alice Matheny
1960	6224– Apt B	M. E. Rew

Table 7 (Continued)

Yucca Argyle Apartments Occupants Based Los Angeles City Directories

Year	Unit	Name
1962-65	6210 – Apt A	Harry Diehl
1962	6210 – Apt B	Theo Bakos
1962-65	6212 – Apt C	Peter Mayer
1962-65	6212 – Apt D	Jas McQuiston
1962	6216 – Apt B	Henry Proctor
1962	6216 – Apt C	Thad Lewis
1962	6218 – Apt C	George Faubion
1962	6220 – Apt A	Bert Dagg
1962	6220 – Apt B	M. E. Rew
1962	6224 – Apt B	Marjorie Mullin
1962	6224 – Apt C	Thomas Finneran
1965	6210 – Apt C	Rosalind Stevens
1965	6216 – Apt A	T. W. Lewis
1965	6216 – Apt B	R. Brownlee
1965	6216 – Apt D	G. L. Woodward
1965	6218 – Apt A	J. W. Gregory
1965	6220 – Apt A	G. Ponce
1965	6224 – Apt D	C. Slocum
1965	6224 – Apt A	Frances Lauterbach

IV. EVALUATION

A. PREVIOUS EVALUATIONS

1. Historical Resources in the Project Vicinity

The records search for cultural resources within the Project vicinity (approximately 0.25-mile radius) involved review of previous surveys records and reports on file at the South Central Coastal Information Center (SCCIC) records center and ESA's in-house files. The records search ESA commissioned from the SCCIC is included in Appendix H. Located within a dense, urban setting with limited visibility, the 0.25-mile radius records search was conducted to capture all known resources within the project vicinity which may have views of the Project Site for the purpose of analyzing potential indirect impacts. ESA also consulted the National Register, California Register, Statewide Historical Resources Inventory ("HRI"), California Points of Historical Interest ("PHI"), California Historical Landmarks ("CHL"), City of Los Angeles Historic-Cultural Monuments ("LAHCM"), and SurveyLA results to locate previously identified historical resources within the Project vicinity.³¹

There are 16 historical resources within a 0.25 mile radius of the Project Site. A summary of historical resources identified within the Project vicinity is provided in **Table 8, Previously Recorded Resources within a 0.25 Mile Vicinity of the Project Site**, below, and listed in the bullet points below.

One (1) historic district is listed on the National Register and California Register (1D CHR Status Code):

- Hollywood Boulevard Commercial & Entertainment District

Four (4) properties are individually listed on the National Register (1S CHR Status Code):

- Guaranty Building/Allstate Title Building, 6331 Hollywood Boulevard
- Security Trust & Savings, 6381-85 Hollywood Boulevard
- Halifax Apartments, 6376 Yucca Street
- Hollywood Tower/La Belle Tour, 6200 Franklin Avenue

One (1) property is listed in the California Register and determined eligible for the National Register through the Section 106 process (2S2 CHR Status Code):

- Hollywood Equitable Building, 6253 Hollywood Boulevard

One (1) district is listed in the California Register and determined eligible for the National Register through the Section 106 process (2D2 CHR Status Code):

- Vista del Mar/Carlos Historic District

³¹ ESA reviewed SurveyLA data provided by the City of Los Angeles Office of Historic Resources. The SurveyLA data prepared by the Historic Resources Group in 2014, is still in working form as it has not been published or reviewed.

Four (4) properties are designated LAHCMs (5S1 CHR Status Code):

- Pantages Theater, 6233 Hollywood Boulevard
- Little Country Church of Hollywood, 1750 N Argyle Avenue
- Capitol Records Tower Building, 1740-1750 N. Vine Street
- Hollywood Plaza and Neon Sign, 1633 Vine Street

Three (3) properties appear individually eligible for the National Register (3S CHR Status Code) and are contributors to the National Register listed Hollywood Boulevard Commercial and Entertainment District (1D CHR Status Code):

- BH Dylans Company/Broadway Department Store, 6300 Hollywood Boulevard
- Regency Building/General Nutrition, 6324 Hollywood Boulevard
- Regal Shoe Store, 6349 Hollywood Boulevard

One (1) property appears individually eligible for the National Register (3S CHR Status Code), is listed in the California Register and determined eligible for the National Register through the Section 106 process (2S2 CHR Status Code), and is a designated LAHCMs (5S1 CHR Status Code):

- Hollywood Walk of Fame

One (1) property is eligible for local listing (5S2 CHR Status Code):

- 1621 Gower Street

Table 8

Previously Recorded Resources within a 0.25 Mile Vicinity of the Project Site

Resource	Address	Primary Number	CHR Status Code	Distance from Project Site	View of Project Site?
Vista Del Mar- Carlos District	1750-1771 Vista del Mar Street; 6118-6144 Carlos Avenue; 1735 Gower Street	P-19-176308	2S2	Two parcels within Project Site (1765 and 1771 Vista del Mar Street)	Direct View
Little Country Church of Hollywood	1750 N Argyle Avenue & 6151-61 Carlos Avenue	Unknown	5S1 (LAHCM No. 567)	Adjacent to Project Site	Direct View
Capitol Records Tower Building	1740-1750 N. Vine Street; 6236 W. Yucca Street		5S1 (LAHCM No. 857)	0.08 mi (404 ft) to SW	Direct View

Table 8 (Continued)

Previously Recorded Resources within a 0.25 Mile Vicinity of the Project Site

Resource	Address	Primary Number	CHR Status Code	Distance from Project Site	View of Project Site?
Hollywood Boulevard Commercial and Entertainment District	6200-7000 Hollywood Boulevard	P-19-174178	1D	0.12 mi (614 ft) to 0.64 mi (3,397 ft) to SW	Direct, Indirect and No View. Contributors with direct views include Palace Theater (1735 N. Vine Street), indirect views include Pantages Theater (6233 Hollywood Blvd), Equitable Building (6253 Hollywood Blvd), Old Post Office (1717 N. Vine). The remainder of the contributors have no views of the Project.
Hollywood Walk of Fame	Hollywood Boulevard & Vine Street. ³²	P-19-167544	5S1 (LAHCM No. 194), 2S2, 3S	0.09 (464ft) to W (Yucca) to 0.11mi (576 ft) to the south (Hollywood)	Indirect View
Pantages Theater	6233 Hollywood Boulevard	P-19-167073	5S1 (LAHCM No. 193), 1D, 2D2	0.10 mi (549 ft) to SW	Indirect View
Hollywood Equitable Building	6253 Hollywood Boulevard	P-19-167547	2S2, 1D, 3S	0.14 mi (733 ft) to SE	Indirect View
BH Dylans Company/Broadway Department Store	6300 Hollywood Boulevard	P-19-174149	1D, 3S	0.18 mi (947 ft) to SW	No View, blocked by Hollywood Equitable Building
Regency Building/General Nutrition	6324 Hollywood Boulevard	P-19-167550	1D, 3S	0.19 mi (1,011 ft) to SW	No View
Regal Shoe Store	6349 Hollywood Boulevard	P-19-167551	1D, 3S	0.21 mi (1,132 ft) to SW	No View
Hollywood Tower/La Belle Tour	6200 Franklin Avenue	P-19-168421	1S	0.08 (428 ft) to N	No view, blocked by 101 Freeway

³² The Hollywood Walk of Fame runs 1.3 miles east to west on Hollywood Boulevard from North Gower Street to North La Brea Avenue, plus a short segment of Marshfield Way that runs diagonally between Hollywood and La Brea; and 0.4 miles north to south on Vine Street between Yucca Street and Sunset Boulevard.

Table 8 (Continued)

Previously Recorded Resources within a 0.25 Mile Vicinity of the Project Site

Resource	Address	Primary Number	CHR Status Code	Distance from Project Site	View of Project Site?
Halifax Apartments	6376 Yucca Street	P-19-186999	1S	0.22 mi (1,158 ft) to W	No View
Security Trust & Savings	6381-85 Hollywood Boulevard	P-19-171016	1S, 1D	0.26 mi (1,374 ft) to SW	No view
Guaranty Building/Allstate Title Building	6331 Hollywood Boulevard	P-19-167272	1S, 1D, 3S	0.19 mi (1,004 ft) to SW	No View
Hollywood Plaza and Neon Sign	1633 Vine Street		5S1 (LAHCM #665)	0.21 mi (1,091) to SW	No View
1621 Gower Sreet	1621 Gower Street	P-19-167949	5S2	0.21 mi (1,105 ft) to SE	No view

2. Vista del Mar/Carlos Historic District

Of the four parcels comprising the Project Site, two parcels with the addresses of 1765 and 1771 Vista del Mar Street are situated within the District (Primary# 19-176308). In 1984, the District was found locally significant and assigned a CHR Status Code of 5S2. At this time there were 16 contributing properties (listed in Table 9 below) constructed between 1910 and 1923 along Vista del Mar Street (part of Tract 2209) and Carlos Avenue (part of Del Mar Tract). Nearly all the residences were one and two story constructed in the Craftsman style. The District is a contiguous district that has an L-shape as the District includes the properties flanking Vista del Mar Street and Carlos Avenue between Yucca Street to the north and North Gower Street to the east. The 1984 District DPR form defined the character of the streetscape along Vista del Mar and Carlos Avenues:

Each street forms a subgrouping with a cohesive architectural identity. The Craftsman bungalows on Vista del Mar are one-story and built on small identically-sized lots with common setbacks. Vista del Mar is further united by the slope of the street, its narrow dimensions, and the vintage grooved and pebbled paving untouched by blacktop. Carlos has a slightly different character, arising from the greater width of the street and the sequence of large, very deep lots on its south side which encouraged construction of substantial-sized Craftsman residences. These houses are two stories and sited mid-lot, allowing for ample setbacks. Intermittent street trees in the parkways on each side of Carlos further enhance its identity.”³³

Both 1765 and 1771 Vista del Mar Street were found to be contributors to the District in 1984. 1771 Vista del Mar is located on the edge of the District adjacent to a vacant lot at the southwest corner of Vista del Mar Street

³³ Vista del Mar/Carlos Neighborhood District DPR Form, Prepared by L. Heumann and C. McAvoy, Hollywood Heritage/CRA (September 1984).

and Yucca Street; and 1765 Vista del Mar Street is located adjacent to 1771 Vista del Mar Street to the south. However, the physical description of 1765 Vista del Mar Street stated:

The original design of this two-story residence cannot be discerned from its present appearance. In 1935, a gabled second-story was added to a one-story, flat roofed structure. A single hipped dormer punctuates the roofline. Stucco sheathes the lower story, dark brown clapboard the upper. Of more interest than the building, which although partially dating back to 1918 is altered beyond recognition, is the landscaping. Two palms and assorted shrubbery provide a frame for the structure.³⁴

Even though the original residence at 1765 Vista del Mar Street was “altered beyond recognition” due to the 1935 second-floor addition that falls outside of the District’s period of significance (1910-1923), 1771 Vista del Mar was incorrectly identified as a contributor to the District. The 1984 survey also notes 1771 Vista del Mar had dense shrubbery partially obscuring the view of the primary elevation from the public right-of-way, is sided by clapboard, has a principal design element being the pedimented entry which is adorned with a garlanded medallion, and windows consisted of window sashes divided by muntins.³⁵

Following the 1994 Northridge earthquake, the District was resurveyed in September 1994. As a result of the re-survey, the District was assigned a CHR Status Code of 2D2 and determined eligible for the National Register by consensus through the Section 106 process and listed in the California Register. As a result, 1765 and 1771 Vista del Mar, as contributors, were also listed in the California Register. The residences at 6136 and 6142 Carlos Avenue were found to have suffered significant earthquake damage and later 6142 Carlos Avenue was torn down. Also, the 1984 survey identified twelve residential neighborhoods in Hollywood that represented the area’s early residential development. But by the 1994 survey, development had eradicated four of those areas and the District was found to assume “greater significance in the community as an intact grouping of residential architecture representative of the Golden Era of Hollywood.”

The District was surveyed again during the 2010 Historic Resources Survey. At this time the CHR Status Code of 1771 Vista del Mar was downgraded to a 6Z most likely due to the removal of the wood clapboard siding, the medallion within the pedimented entry gable, and original windows, as well as the stuccoing over of the entire residence. All of the other contributing residences retained their 2D2 CHR Status Codes.

The current contributors to the District are provided in Table 9 below and depicted on the map provided in Figure 61 on page 75. Character-defining features of the District include one to two-story residences setback from the street behind a lawn or yard, residences designed in the Craftsman or Arts and Crafts style with the exception of a Spanish Colonial style residence, concrete driveways on the side of the lots leading to a rear garage, street layout, sidewalks, and street trees. The character of the District differs between the grouping of residences on Vista del Mar Street and Carlos Avenue. Along Vista del Mar Street, the residences are smaller in scale and are mostly one-story single-family residences improved on small identically sized lots. Vista del Mar Street slopes upward to the north, is narrow, has grooved and pebbled paved surface, and sidewalks.

³⁴ The DPR notes the primary address of 1765 Vista del Mar as 1767. “1767 Vista del Mar” Description, Vista del Mar/Carlos Neighborhood District DPR Form, Prepared by L. Heumann and C. McAvoy, Hollywood Heritage/CRA (September 1984).

³⁵ “1771 Vista del Mar” Description, Vista del Mar/Carlos Neighborhood District DPR Form, Prepared by L. Heumann and C. McAvoy, Hollywood Heritage/CRA (September 1984).

While the residences along Carlos Avenue are larger in scale, two-story and representative of the Arts and Crafts style and are sited on larger lots that encourage deeper setbacks.

The previous evaluations of the District are provided in Appendix E.

Table 9

Contributors to Vista del Mar/Carlos Historic District

Address	Primary Number	Construction Date (LA County Assessor)
1735 Gower Street	19-176309	1908
6118 Carlos Avenue	19-176310	1910
6122 Carlos Avenue	19-176311	1911
6128 Carlos Avenue	19-176312	1913
6136 Carlos Avenue	19-176313	1912
<i>6142-6144 Carlos Avenue</i>	<i>19-176314</i>	
1750 Vista del Mar Street	19-176315	1914/1920
1751 Vista del Mar Street	19-176316	1915
1756 Vista del Mar Street	19-176317	1914/1918
1757 Vista del Mar Street	19-176318	1914/1920
1760 Vista del Mar Street	19-176319	1911
1763 Vista del Mar Street	19-176320	1922
1764 Vista del Mar Street	19-176321	1913/1930
1770 Vista del Mar Street	19-176323	1914
1767 Vista del Mar Street	19-176322	1918/1932
1771 Vista del Mar Street	19-176324	1920/1926

3. Previous Evaluations of the Yucca Argyle Apartments at 6210 Yucca Street

The Yucca Argyle Apartments were surveyed during the 2010 Historic Resources Survey and it was concluded that the apartments were ineligible for listing on the National Register, California Register, or as a local landmark and assigned a CHR Status Code of 6Z. The evaluation concluded the apartments were significantly altered as a result of the replaced fenestration and therefore retains little integrity. The DPR form recording this evaluation is included in Appendix F.

B. EVALUATION OF POTENTIAL HISTORICAL RESOURCES WITHIN THE PROJECT SITE

1. SurveyLA Registration Requirements and Eligibility Standards

Based upon the historical themes developed in Chapter III and in the Los Angeles Historic Context Statement, there are two significant SurveyLA themes associated with the Project Site: Neighborhood Streetcar Suburbanization (1888-1933) and Courtyard Apartments (1950s-1960s).³⁶ The following are the eligibility standards that define what character-defining features and integrity aspects a historical resource needs to have in order to be considered eligible in association with each theme.

a. Streetcar Suburbanization, 1888-1933: Neighborhood

Criteria

- A/1/1

Period of Significance

- 1888-1933

Eligibility Standards

- A geographically definable area composed of multiple adjacent subdivisions, or portions thereof, that have become linked over time through a shared period of development or demographic, ethnic or cultural cohesion
- Developed as a direct result of the proximity to a streetcar line
- Includes lots developed almost entirely with single-family residences dating from the period of significance
- Retains a sense of place that evokes an early 20th century suburb
- Was developed primarily during the period of significance

Character-Defining Features/Associative Features

- As a whole, retains the essential physical and character-defining features from the period of significance
- Includes intact single-family and multi-family residences that represent a collection of early 20th century housing types and styles
- May include commercial and institutional properties as contributing features
- Small-scale retail/commercial and institutional properties may be peppered throughout the neighborhood or concentrated near historic streetcar stops or nodes

³⁶ *Los Angeles Historic Context Statement Outline, Suburban Planning and Development, 1888-1933: Neighborhood (January 2, 2014): 6-7.*

Los Angeles Historic Context Statement Outline, Residential Development and Suburbanization, 1850-1980, 1950s-1960s Courtyard Apartment (December 31, 2013): 77-78.

- Street improvements such as curb and gutter, historic streetlights, sidewalks, parkways and street trees common
- Uniform blocks of rectangular-shaped parcels laid out in square or rectilinear grid of streets
- Uniform front-yard setbacks, typically landscaped with lawns and shrubbery

Integrity Considerations

- Alterations to individual buildings should be allowable under the eligibility standards for the particular style
- Alterations to streetscape to accommodate increased automobile use are common; may include driveways and garages added after the period of significance
- Infill development allowed if it does not disrupt the residential character
- Original streetscape features, such as street trees and lights, may be missing in limited amounts
- Should retain integrity of Feeling, Setting, Design, Location, and Association
- Some contributors may have been moved into the area
- Some widening of neighborhood streets may occur where they have become major arteries

b. Courtyard Apartments, 1950s-1960s**Criteria**

- C/3/3

Period of Significance

- 1950-1969

Eligibility Standards

- Is an excellent example of the type
- Is two or three stories in height
- Was constructed during the period of significance
- Was originally constructed as a courtyard apartment

Character-Defining Features/Associative Features

- Associated architectural styles: Mid-Century Modern, Traditional Ranch, Tiki/Polynesian
- Building is oriented around a common area, a primary feature of the design (typically a landscaped courtyard, paved patio or swimming pool)
- Detached garage(s) at the rear, or integrated carport along the side or rear
- For the National Register, property must possess exceptional importance if less than 50 years of age
- May also be significant as a good example of an architectural style from its period and/or the work of a significant architect or builder

- May have interior or exterior access corridors
- O-, U- or E-shaped plan on a double residential lot; may be composed of two L-shaped buildings occupying adjacent residential lots
- Retains most of the essential character-defining features from the period of significance
- Typically two stories in height; may be three stories

Integrity Considerations

- Central pool may have been filled in/paved over
- If it is a rare surviving example of its type, or is a rare example in the community in which it is located, a greater degree of alteration or fewer character-defining features may be acceptable
- Original landscaping may have been altered or removed
- Replacement of some windows may be acceptable if the openings have not been changed or resized
- Security bars may have been added
- Should retain integrity of Location, Design, Setting (must retain the relationship between the building and the common area), and Materials (some materials may have been altered/removed)
- Where this property type is situated within a grouping of multi-family residences, it may also be significant as a contributor to a Multi-Family Residential District. A grouping may be composed of a single property type or a variety of types

2. Architectural Description, Integrity Analysis, and Significance Evaluation of 1765 Vista del Mar

a. Architectural Description



Figure 6. (Left) Street façade, 1765 Vista del Mar Street, Facing west. (ESA 2015)



Figure 7. (Right) Street façade, 1765 Vista del Mar Street, Facing southwest. (ESA 2015)

1765 Vista del Mar Street is located in the neighborhood of Hollywood, City of Los Angeles, California, on an approximately 4,043 square foot parcel and occupies the majority of the lot (Figures 6 and 7). The two-story residence was originally designed as a one-story stucco home with a flat roof, most likely in the Spanish Colonial Revival style like its neighbor at 1763 N. Vista del Mar. However, the second floor addition in 1935 has altered the residence, giving it a Minimal Traditional appearance (alteration). The residence is composed

of a rectangular floor plan and an asymmetrical façade oriented east fronting Vista del Mar Street near the corner of Yucca Street. The residence consists of wood-frame construction on a concrete foundation and is clad with stucco on the first floor and wood clapboard siding on the second floor. A string course divides the two floors and cladding materials. There is a detached garage and servant's quarters (currently in use as a studio apartment) located behind the residence (alteration). The residence is topped with a high-pitched cross-gabled roof with composite shingles, overhanging eaves, and exposed rafter tails (alteration).



Figure 8. (Left) Closer view of front elevation, view facing southwest (ESA 2015)

Figure 9. (Right) Front entry with sidelights, view facing west (ESA 2015)

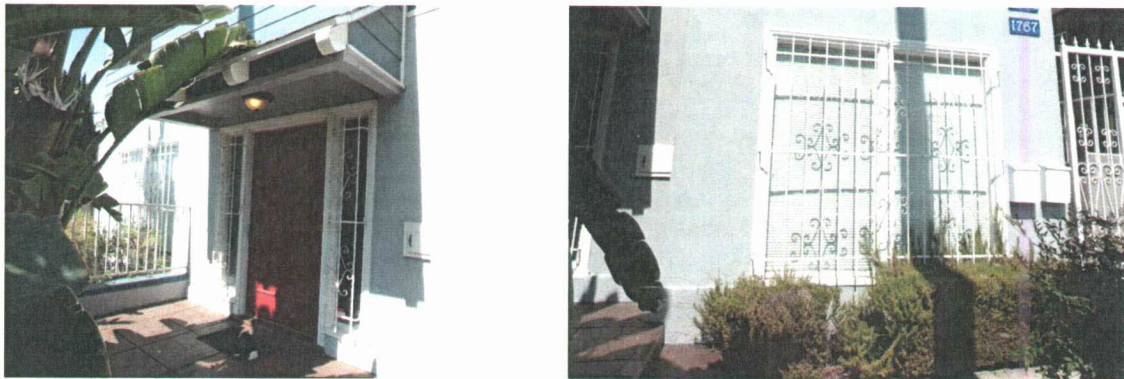


Figure 10. (Left) Porch with main entry and shed roof style canopy, view facing west (ESA 2015)

Figure 11. (Right) Wood framed windows on north side of main entry, view facing west (ESA 2015)

The primary elevation (east) consists of the main entry situated on a small brick stoop, beneath a modest shed roof (Figure 8). Previous evaluations stated the shed roof was supported by posts, however no posts currently exist (alteration). The residence's primary entrance contains a single wood paneled door flanked by sidelights with decorative grates (Figure 9 and 10). The brick stoop depicted in Figure 10 is covered with clay tile (alteration) and enclosed on the south end by a metal railing (alteration). Fenestration on the primary elevation's ground floor consists of paired fixed aluminum windows on flanking the main entrance (Figure 11) (alteration). There are three windows on the second floor of the residence situated in dormers, two of which are gabled while the third (northern most) is hipped (alteration).



Figure 12. (Left) View of north elevation and side-facing gable, facing southwest (ESA 2015)

Figure 13. (Right) North elevation's ground floor, facing southeast (ESA 2015)

The north façade consists of a secondary entrance providing access to the second floor apartment. Above the secondary entrance is the side-facing gable, containing detailing characteristic of the Minimal Traditional style (Figure 12) (alteration). Fenestration along the north elevation consists of paired and single wood frame double hung windows with metal security bars. A tripartite grouping of windows with divided light is located at the west end of the south elevation and includes two wood casement windows flanking a fixed wood frame window (Figure 13).



Figure 14. (Left) Secondary entrance providing access to upstairs apartment, facing southeast (ESA 2015)

Figure 15. (Right) Second floor with wood clapboard siding and aluminum windows, facing south (ESA 2015)

The entrance into the second floor apartment consists of a single wood paneled door under a small shed roof style canopy (alteration). The wall to the right of the doorway is clad in decorative wood paneling with brackets supporting a small shelf under a grouping of small wood casement windows (Figure 14) (alteration). Fenestration on the second floor consists of aluminum sliding windows (alterations) (Figure 15) (alteration).

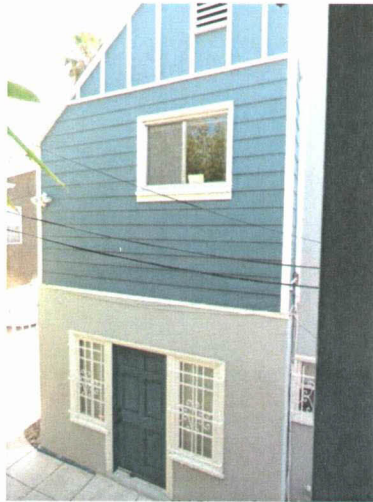


Figure 16. (Left) North side of rear elevation, facing east (ESA 2015)



Figure 17. (Right) South side of rear elevation with all stucco siding, facing southeast (ESA 2015)

The west elevation (rear) consists of another secondary entrance on the ground floor, providing rear access to the ground floor apartment. The entrance includes a single wood paneled door flanked by two wood framed casement windows with divided light (Figure 16). The doorway and windows are encompassed by a beveled wood frame. Metal security bars are found on these and other first floor windows. The wood clapboard siding found on the second floor of the east and north elevations continues onto the west elevation, however it ends just passed the mid-point of the rear facing gable (alteration). The rest of the rear elevation is clad in stucco (Figure 17). Like the side-facing gable on the north façade, the rear-facing gable exhibits decorative features characteristic of the Minimal Traditional style (alteration). Additional fenestration along the west façade includes a tripartite grouping of wood framed divided light windows near the south end as well as single wood framed double hung windows. Fenestration on the second floor includes aluminum sliding windows of various sizes (alteration).



Figure 18. (Left) Detached garage and studio apartment, facing south (ESA 2015)



Figure 19. (Right) View of garage/studio apartment's east elevation, facing southwest (ESA 2015)

Also located at the rear of the residence is a detached garage with what was once a servant's quarters but is currently used as a studio apartment (alteration). Permits on file at the Los Angeles Department of Building and Safety show the apartment was added in 1931 (see page 22 of this report). Wood steps lead to the studio apartment's second floor entrance and are accompanied by a wood railing. A small landing and porch are enclosed by a wood balustrade, while posts support a shed roof style canopy above the main entry (Figure 18). Fenestration on this building is made up of aluminum sliding windows (alterations). The ground floor of the detached garage contains a single wood door to a utility room and a pair of partially glazed wood doors leading to the garage/storage space (Figure 19).



Figure 20. (Left) Southwest corner of Residence with view of second floor patio, facing northeast (ESA 2015)



Figure 21. (Right) Close up view of enclosed porch on south elevation, facing north (ESA 2015)

Like the other elevations, the south façade consists of a combination of stucco siding and stucco siding wood clapboard siding. However, the wood clapboard siding on the second floor ends where a second floor balcony extends from the residence (alteration). The second story patio is supported by wood posts and doubles as a carport over the concrete driveway (Figure 20) (alteration). Also below the second floor patio is a small, angled protruding porch with a shed style roof (Figure 21). The porch is enclosed with wood framing and floor-to-ceiling plate glass windows (alteration). Near the front of the residence, there is an external brick chimney extending above the roofline (alteration). Fenestration along the east elevation includes single wood frame, double hung windows as well as a wood frame tripartite group of windows near the rear. Second floor fenestration is composed of aluminum sliding windows of various sizes (alteration). A sliding glass door provides access to the second floor apartment from the outdoor patio (alteration).



Figure 22. (Left) Interior view of first floor living room with fireplace (ESA 2015)



Figure 23. (Right) Interior view of enclosed porch area next to dining room (ESA 2015)

Visitors to the residence's first floor apartment are greeted by an open living room with a large stone fireplace (alteration) and wood flooring throughout (Figure 22). To the right of the entry is a pair of wooden doors leading to a small bedroom. A large dining room is located west of the living room. Original decorative crown molding, baseboards, and door jams are present throughout. On the south side of the dining room are fully glazed, divided light, wood French doors accessing a small enclosed space that was once an open porch (alteration) (Figure 23). North of the dining room is the unit's kitchen, which has been updated with new tile, cabinets, countertops and appliances (alterations). The rear of the unit consists of two additional bedrooms, flanking a single bathroom.



Figure 24. (Left) Ground floor view of staircase leading to second floor unit (ESA 2015)



Figure 25. (Right) View of staircase from second floor (ESA 2015)



Figure 26. (Left) View of decorative fireplace in second floor unit (ESA 2015)



Figure 27. (Right) Built-ins in second floor unit's dining room (ESA 2015)

The second floor apartment is accessed from a side entrance on the residence's north elevation (alteration). Upon entering the side entrance, the visitor is greeted by a large winding stair case with wooden steps a decorative wrought-iron railing (Figures 24 and 25) (alteration). The staircase leads to a large open landing on the second floor with built in storage space and wood flooring. From the landing, a doorway to the west leads to a renovated kitchen with new countertops, cabinets, and tile (alteration). To the south, a large opening leads to an open living room dominated by a decorative metal and brick fireplace (Figure 26) (alteration). Next to the living, to the west is the dining room, which includes elaborate wood built-ins and decorative wood tongue-and-groove siding (Figure 27) (alteration). A sliding glass door leads to an outdoor patio south of the dining room. The rear of the upstairs unit contains bedrooms and a bathroom (alteration).

b. Integrity Analysis

The National and California Registers have specific language regarding integrity. Both require that a resource retain sufficient integrity to convey its significance.³⁷ In accordance with the guidelines of the National Register of Historic Places, integrity is evaluated in regard to the retention of location, design, setting, materials, workmanship, feeling, and association. The property must retain the essential physical features that enable it to convey its historic identity. Furthermore, National Register Bulletin 15 states, "A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register."³⁸ The California Register requires that a resource retain enough of its historic character or appearance to be recognizable as a historical resource and to convey the reasons for its significance.

Location – The residence at 1765 Vista del Mar has not been moved; it remains in the location in which it was originally built in 1918. **Therefore, the subject property retains integrity of location.**

Design – The design of 1765 Vista del Mar has been significantly altered, both on the exterior and interior, by a second floor addition permitted in 1935. The permit on file relating to the alterations states the original residence at 1765 Vista del Mar was a single-story building with a flat roof. With stucco siding and a flat roof, the residence was most likely a Spanish Colonial Revival style single-family residence, much like its neighbor to the south at 1763 N. Vista del Mar. Alterations proposed by the property owner increased the residence to a two-story building with a cross gabled roof and added wood clapboard siding to the new second floor. These alterations occurred nearly a decade after the end of the District's period of significance, and result in a completely reconfigured home. The residence is now a two-story, multi-family residence in the Minimal Traditional style, popular during the 1930s. **Therefore, the residence at 1765 Vista del Mar retains no integrity of design.**

Materials – 1765 Vista del Mar retains partial integrity of materials. As previously discussed under Design, the subject residence was altered significantly in 1935. However, some of the architectural details from the original building remain, including original wood framed windows on the ground floor. Interior details such

³⁷ *National Register Bulletin 15*, p. 44.

³⁸ *Ibid*, 15, p. 46.

as crown molding, baseboards, and decorative wood door surrounds also remain. **Therefore, 1765 Vista del Mar retains partial integrity of materials.**

Workmanship – The residence at 1765 Vista del Mar retains partial integrity of workmanship. As stated above, the building only retains partial integrity of materials. As such, it also can retain only partial integrity of workmanship. The original workmanship of the 1918 residence is evident in the wood detailing found on the ground floor. However, much of this workmanship has been altered due to changes in the subject residence's configuration with the addition of a second floor in the 1935. **Therefore, the 1765 Vista del Mar retains partial integrity of workmanship.**

Feeling – The subject residence retains integrity of location and setting, and partial integrity of materials and workmanship. The subject residence does not retain integrity of design. Although the subject residence retains portions of its integrity, it is heavily altered and is no longer able to successfully convey its historic character as one-story single-family residence. **Therefore, 1765 Vista del Mar does not retain integrity of feeling.**

Association – The subject residence is associated with early residential development in the Los Angeles neighborhood of Hollywood. However, it has been significantly altered from its original construction. The residence is heavily altered and retains only partial integrity of design, materials, and workmanship. The residence has changed from a single family residence into a two-story multi-family structure. Due to the alterations, the residence no longer conveys its association with the early development of Hollywood. **Therefore, 1765 Vista del Mar does not have integrity of association.**

Setting – Although still residential in nature, the setting around the 1765 Vista del Mar has been compromised with the addition of a large apartment complex to the west. Despite the apartments constructed in 1953, the 1765 Vista del Mar's original surrounding neighborhood remains intact. Properties within view of the subject residence's front elevation appear to be from the same period. The overall appearance of the street is consistent with the early 20th century. **Therefore, 1765 Vista del Mar does retain integrity of setting.**

1765 Vista del Mar retains integrity of location and setting. It retains partial integrity of materials and workmanship, and no integrity of design, feeling, or association. Although the second floor addition occurred early in the residence's history, the changes occurred outside of the period of significance for the home and the District. The 1935 alteration significantly affected the residence's shape, scale, massing, style, and use. The residence retains little with which to associate it as a representation of early residential development in Hollywood.

c. Significance Evaluation

While 1765 Vista del Mar is associated with the historic context of Streetcar Suburbanization and Early Residential Development in Los Angeles, it is substantially altered and no longer physically conveys its historical associations. The subject residence does not retain integrity from the period of significance (1918) and is not eligible for individual listing under any of the applicable federal, state or local eligibility criteria. Although the property has been previously declared a contributor to the District, it should not presently be considered a contributor due to the significant alterations that fall outside the District's period of significance (1913-1922). The residence is not specifically identified with historic personages important to local, state, or national history. Because it is significantly altered, 1765 N. Vista del Mar Street does not appear individually eligible for listing in the national, state or local registers as an exceptional, distinctive, outstanding, or singular

example of a type or style. The residence was originally designed by local architect Harold B. Dunn in 1918. However, integrity issues caused by the addition of a second floor in 1935 have completely altered the residence's design. Therefore, 1765 Vista del Mar no longer conveys its association with Harold Dunn.

Broad Patterns of History

With regard to broad patterns of history, the following are the relevant criteria:

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure reflects or exemplifies the broad cultural, political, economic, or social history of the nation, State, or City (community).

Constructed in 1918, the residence was developed in Tract 2209, originally subdivided from the Del Mar Tract in 1913 and is associated with the SurveyLA themes of Streetcar Suburbanization as well as Early Residential Development in Los Angeles. Although the residence does meet the eligibility standards identified in Los Angeles' Citywide Historic Context Statement under Streetcar Suburbanization (1888-1933) and Early Residential Development (1880-1930), it no longer retains the character-defining features that associate it with these themes. Alterations made in 1935, including the significant addition of a second floor have resulted in a completely different building than what was originally built in 1918. Originally a one-story, single-family dwelling, the residence is now a two-story, multi-family structure with Minimal Traditional styling popularized in the 1930s. The impacts to the residence's integrity have resulted in a building that is no longer representative of events significant to the broad patterns of national or state history. **Therefore, 1765 Vista del Mar does not appear eligible for the National Register under Criterion A, the California Register under Criterion 1, or the local register.**

Significant Persons

With regard to associations with important persons, the following are the relevant criteria:

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure is identified with historic personages or with important events in the main currents of national, State, or local history.

1765 Vista del Mar is not identified with historic personages in national, state, or local history. The original owner of the property is listed as Harold B. Dunn, a local architect who most likely never actually resided at 1765 N. Vista del Mar. The first resident and owner was most likely William Freeman, who was listed at the residence in 1920 until 1922. During the 1920s the Residence experienced a high rate of turn-over for its occupants. Jas Hum, Madlyn Elkins, Gunther Lessing, and Carrie Hoyle all lived there at some point during the

decade. The longest occupant was Alice Montrose, who lived in the residence for over a decade (1932-1942). It was Mrs. Montrose who added the second floor in 1935. There is no evidence that any of the occupants or identified owners were historically significant personage at the local, state, or national level. **Therefore, 1765 Vista del Mar is not eligible for listing under the National Register Criterion B, California Register Criterion 2, or the local register for eligibility related to a historic personage or event.**

Architecture

With regard to architecture, design or construction, the following are the relevant criteria:

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure embodies certain distinguishing architectural characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction; or the proposed site, building, or structure is a notable work of a master builder, designer, or architect whose individual genius influenced his age.

The residence at 1765 Vista del Mar is ineligible for designation under National Register Criterion C, California Criterion 3, and the local criterion. The residence is not an exceptional, distinctive, outstanding, or singular example of a type or style. Although the original style of the residence is not known, records indicate it once had a flat roof and therefore may have been a Spanish Colonial Revival style home. However alterations in 1935 added a second floor with a cross-gabled roof and Minimal Traditional details. Therefore, it is not architecturally distinctive because it no longer retains its original character-defining features from its 1918 period of significance. The residence has lost its integrity of design, feeling, and association. Furthermore, it has degraded integrity of materials and workmanship. The residence was originally designed by local Hollywood architect Harold B. Dunn. However, alterations in 1935 have compromised Dunn's original design and therefore the Residence no longer conveys this significance. **Therefore, 1765 Vista del Mar does not appear to satisfy National Register Criterion C, California Register Criterion 3, or the local register for eligibility related to a distinctive type, method, or period of construction, or as a work of a master.**

Archaeology

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

The Residence at 1765 Vista del Mar was the first constructed on the site and therefore, is not likely to yield any information important to prehistory or history. Therefore, 1765 Vista del Mar does not meet the above criterion at the national or state level.

3. Architectural Description, Integrity Analysis, and Significance Evaluation of 1771 Vista del Mar

a. Architectural Description

Constructed in 1920, the bungalow at 1771 Vista del Mar is located on an approximately 4,042 square foot parcel oriented facing west towards Vista del Mar (Figure 28). Sited on the approximate center of the gently sloping lot 3, the bungalow is set back behind a grass lawn. There is a concrete driveway that runs parallel to the south property line to the rear one-car garage (Figure 29 and 30). Behind the bungalow is landscaped backyard enclosed by a chain-link fence (Figure 31). The bungalow has an overall rectangular plan, concrete foundation, wood-frame construction covered in stucco (alteration, originally the bungalow was sheathed with wood clapboard siding), and a hipped roof with two side gables. The roof is sheathed in composition shingles (alteration).



Figure 28. (Left) Primary (East) Elevation, View West (ESA 2015)

Figure 29. (Right) Primary (East) and Side (South) Elevations, View Northwest (ESA 2015)



Figure 30. (Left) Rear Garage, Primary (East) Elevation, View West (ESA 2015)

Figure 31. (Right) Backyard, View Northwest (ESA 2015)

Because of the graded lot, concrete stairs with painted metal railings lead to the primary entrance located on the southern end of the primary elevation (Figure 28). Flanking the single-entrance door consisting of a wood panel door (alteration, replacement) and a metal-security door (alteration) are vinyl slider windows with false sashes and muntins (alteration, replacements). Over the door and two windows is a decorative wood cornice and oversized pediment (alteration, it appears the middle of the pediment has been stuccoed). A vinyl vertical slider false sashes and muntins (alteration, replacement) on the northern end of the balances the primary entrance ensemble.

Located in the middle of the side (south) elevation (Figure 33) once was an open porch that has subsequently been infilled. The boxed wood eave over this middle portion of the side (south) elevation appears to be a remnant from the former porch. Now the side (south) elevation consists of flat stucco plane with three vinyl slider windows with false sashes and muntins (alteration, replacements).



Figure 32. Side (South) Elevation, View North (ESA 2015)

Figure 33. Interior View of the Enclosed Porch on the Side (South) Elevation, South Wall of the Dining Room, View Southwest (ESA 2015)

The rear elevation also has a wide boxed eave at the roofline, four vinyl slider windows with false muntins and sashes (alteration, replacements) and a wood panel door covered with a metal-security door (alteration, replacement). The side (north) elevation has a bay window and five vinyl slider windows with false muntins and sashes (alteration, replacement) in varying sizes.



Figure 34. (Left) Rear (West) Elevation, View Northeast (ESA 2015)

Figure 33. (Right) Side (North) Elevation, View South (ESA 2015)

The interior of the bungalow has a living room, dining room, office nook, kitchen, two bedrooms, and bathroom. Upon entering the residence through the door on the primary (east) elevation, one enters the living room (Figure 35) and dining room (Figure 36). It appears little historic fabric remains in the interior with the exception of the general layout and built-in on the west wall of the dining room. From the living room one can access one bedroom and the bathroom (Figure 38) and from the dining room one can access an office nook, bedroom, and kitchen (Figure 37). The office nook on the south wall of the dining room (Figure 33) appears to be an open porch that was enclosed at an unknown date.



Figure 35. (Left) Living Room, View East (ESA 2015)



Figure 36. (Right) Dining Area, View West (ESA 2015)



Figure 37. (Left) Kitchen, View Northwest (ESA 2015)



Figure 38. (Right) Bathroom, View North (ESA 2015)

b. Integrity Analysis

As described in greater detail below, the residence at 1771 Vista del Mar Street was originally designed as a Craftsman style bungalow in 1920 (the period of significance), but as a result of extensive alterations the bungalow no longer conveys any character-defining features of the Craftsman style. Furthermore, because of alterations to the lots immediately surrounding the residence it retains partial integrity of setting. The residence only retains integrity of location.

Location – The residence at 1771 Vista del Mar has not been moved; it remains in the location in which it was originally built in 1918. **Therefore, the subject property retains integrity of location.**

Design – Alterations to the residence at 1771 Vista del Mar has negatively impacted the original Craftsman style design. The windows, doors, and roofing materials have been replaced. The original wood clapboard has been removed and the exterior has been sheathed in stucco. Originally there was an open porch on the side (south) elevation that was enclosed at an unknown date. The concrete steps leading the to the primary entrance have been redone and ironing railings have been applied to the sides. The residence was a representation of the Craftsman style is now a simplified and altered example of Minimal Traditional style architecture. The retention of the footprint, massing and roofline is not enough to convey the design of the residence from its period of significance. **Therefore, the residence at 1771 Vista del Mar no longer retains integrity of design.**

Materials – The residence retains little original materials from its initial construction in 1920. The original windows, doors, and roofing materials have been replaced and the clapboard sheathing has been removed. The only extant feature is the entrance pediment, which has been altered and the wood garland decoration has been removed.. **Therefore, the residence at 1771 Vista del Mar does not retain integrity of materials.**

Workmanship –As stated above, the residence at 1771 Vista del Mar does not retain integrity of design or materials because of significant alterations removing key Craftsman character-defining features. The only extant feature conveying any sense of original workmanship is the pediment over the primary entrance, however, even the pediment has been altered. A garlanded medallion once adorning the center of the pediment has been removed and this area has been stuccoed over. **As a result of the extensive alterations, the residence at 1771 Vista del Mar does not retain integrity of workmanship.**

Feeling – Originally designed as a Craftsman style bungalow in 1920, because of extensive alterations the residence no longer retains integrity of materials, design, and workmanship and the feeling of a Craftsman style bungalow. In its current state, the residence at 1771 Vista del Mar conveys the feeling of a Minimal Traditional style bungalow. **Therefore, the residence does not retain integrity of feeling.**

Association – Despite being associated with the early residential development in the Los Angeles neighborhood of Hollywood, the residence at 1771 Vista del Mar is significantly altered from its original construction and does not retain integrity of design, workmanship, materials, and feeling and therefore does not retain its association with the early development of Hollywood. **Therefore, the subject property does not have integrity of association.**

Setting – The immediate setting of the residence at 1771 Vista del Mar has been altered from its period of significance. The lot adjacent to the north was once improved with a duplex has been removed and the lot is now vacant. The other lot adjacent to the south was improved with a one-story Spanish Colonial Revival style single-family residence constructed in 1918, has been altered into a two-story Minimal Traditional style duplex. And the Bartlett residence located to the rear of 1771 Vista del Mar was redeveloped in 1953 with three large Garden style apartment buildings. However, remainder of the 1700 block of Vista del Mar retains its original single-family character from the early twentieth century. **Therefore, the residence at 1771 Vista del Mar retains partial integrity of setting.**

c. Significance Evaluation

The residence at 1771 Vista del Mar is associated with the historic context of Streetcar Suburbanization and Early Residential Development in Los Angeles. As explained in the integrity section above, the residence presently does not retain integrity from the period of significance (1920) and is ineligible for individual listing under any of the applicable federal, state or local eligibility criteria. Although the residence at 1771 Vista del Mar was previously found a contributor to the District in 1984 and 1994, later the 2010 Historic Resources Survey found the property ineligible because of the extensive alterations greatly diminishing the residence's integrity and was assigned a CHR Status Code of 6Z. While 1771 Vista del Mar remains a contributor to a California Register listed historic district by virtue of the 1984 and 1994 surveys, the residence should no longer be considered a contributor due to the significant alterations that fall outside the District's period of significance (1913-1922) which substantially compromised its integrity and detract significantly from its eligibility. Furthermore, the residence is not identified with historic events or personages important to local, state, or national history. Because the residence is significantly altered, 1771 N. Vista del Mar Street does not

appear individually eligible for listing in the national, state or local registers as an exceptional, distinctive, outstanding, or singular example of a type or style. The residence was originally designed by local architect F.M. Tyler in 1920, but because of the lack of integrity, the residence no longer conveys its association with F.M. Tyler.

Broad Patterns of History

With regard to broad patterns of history, the following are the relevant criteria:

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure reflects or exemplifies the broad cultural, political, economic, or social history of the nation, State, or City (community).

Constructed in 1920, the residence at 1771 Vista del Mar was developed in Tract 2209, originally subdivided from the Del Mar Tract in 1913 and is associated with the SurveyLA themes of Streetcar Suburbanization as well as Early Residential Development in Los Angeles. Although the Residence does meet the eligibility standards identified in Los Angeles' Citywide Historic Context Statement under Streetcar Suburbanization (1888-1933) and Early Residential Development (1880-1930), it no longer retains the character-defining features that associate it with these themes. Originally a Craftsman style dwelling, the removal of wood clapboard siding, original windows, and doors, the enclosure of the side porch, and the alteration of the entry pediment, have converted the residence into a Minimal Traditional style residence popularized in the 1930s. Because the residence can no longer convey its original appearance, it is no longer representative of the development of Tract 2209 and the early improvement of Hollywood. **Therefore, the residence at 1771 Vista del Mar does not appear eligible for the National Register under Criterion A, the California Register under Criterion 1, or the local register.**

Significant Persons

With regard to associations with important persons, the following are the relevant criteria:

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure is identified with historic personages or with important events in the main currents of national, State, or local history.

The residence at 1771 Vista del Mar is not identified with historic personages in national, state, or local history. Research on the original owner of the property P.C. Gemert, in addition to other owners including Frank Gentles and Harry Rubinfeld, did not uncover any notable historical associations. Furthermore, there does not appear to be any historical events that occurred at the residence. **Therefore, the residence at 1771 Vista**

del Mar is not eligible for listing under the National Register Criterion B, California Register Criterion 2, or the local register for eligibility related to a historic personage or event.

Architecture

With regard to architecture, design or construction, the following are the relevant criteria:

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure embodies certain distinguishing architectural characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction; or the proposed site, building, or structure is a notable work of a master builder, designer, or architect whose individual genius influenced his age.

The residence at 1771 Vista del Mar is ineligible for designation under National Register Criterion C, California Criterion 3, and the local criterion. Because the residence is altered and no longer represents its original Craftsman style appearance as original designed in 1920, the residence is not an exceptional, distinctive, outstanding, or singular example of a type or style. The removal of original materials such as the roofing, windows, doors, and clapboard sheathing, in addition to the enclosure of the side porch and alteration of the entry pediment has impacts the residence's ability to convey its architectural associations from the period of significance. Therefore, the residence has lost its integrity of design, materials, workmanship, feeling, and association. The Residence was originally designed by locally significant architect F.M. Tyler. However, alterations have compromised Tyler's original design and therefore the residence no longer conveys this significance. **Therefore, the residence at 1771 Vista del Mar does not appear to satisfy National Register Criterion C, California Register Criterion 3, or the local register for eligibility related to a distinctive type, method, or period of construction, or as a work of a master.**

Archaeology

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

The Residence at 1771 Vista del Mar was the first constructed on the site and is not likely to yield any information important to prehistory or history. Therefore, the subject property does not meet the above criterion at the national or state level.

4. Architectural Description, Integrity Analysis, and Significance Evaluation of Yucca Argyle Apartments, 6210 Yucca Street

a. Architectural Description

The Yucca Argyle Apartments comprise a three-building apartment complex including associated carport and paved surface parking areas located on the southeast corner of Argyle and Yucca Streets. The complex is bordered by: Yucca Street to the north; Vista Del Mar Street and single-family residences to the east; vacant land followed by a mixed-use residential and commercial development to the south; and Argyle Avenue to the west. Notably, the Capitol Records Building is located one block to the west of the complex along Yucca Street, and adjacent to the District. The 101/Hollywood Freeway is located one-and-one-half blocks to the north along Argyle Avenue and Hollywood Boulevard is located two blocks to the south along Argyle Avenue.



Figure 39 (Left) North elevation of Yucca Argyle Apartment Buildings, view to southwest (ESA 2015)

Figure 40. (Right) North elevation of Yucca Argyle Apartment Buildings, view to southeast (ESA 2015)

According to Los Angeles County Office of the Assessor, the complex comprises three buildings constructed in 1953, all located on a large sloping parcel. The buildings are two stories at the street but step back to an additional half story at the rear to accommodate utility and laundry rooms. The two largest buildings face north along Yucca Street (Figure 39). Both are U-shaped structures that wrap internal, minimally-landscaped courtyards; both have large center entry portals at the front façade, common canopied entries to down- and upstairs apartments in the open courtyard, and both open at the rear to a paved alley that gives access to a long covered parking shed. The narrow end of the third and smallest building faces Yucca Street and its long main facade faces Argyle Avenue (Figure 40). This building is separated from Argyle Avenue by a raised earthen berm and steel fence. The three buildings are set back along Yucca Avenue behind a calf-high hedge at the inner edge of the sidewalk, a narrow swath of grass, and low plantings at the buildings' foundation. The three buildings are separated from each other along Yucca by two gated driveways that lead to the rear paved carport area.

The multi-family complex is designed in a Minimal Traditional style utilizing wood frame construction, painted stucco, low sloping cross-hipped roofs, deep overhanging eaves with occasional rectangular screened vents, and a combination of fixed and sliding multi-light vinyl windows (alteration, all of the windows have been replaced) (Figure 41). The front facades are organized symmetrically.



Figure 41. (Left) Interior view of living room and fireplace, view to east (ESA 2015)

Figure 42. (Right) Interior view of kitchen, view to north (ESA 2015)

The roof plane is defined by a thick painted extended eave that runs unbroken around the full perimeter of each building, creating a strong horizontal weight that visually anchors the light construction. On the two larger buildings facing Yucca Street, a heavy molding has been applied to the front façade's stucco surface to frame grouped windows and transform them into unified and balanced single elements on either side of the front entry (Figure 42). On the smaller corner building, a thinner molding extends from the base of the window frames and across the stucco faces articulating a break between first and second floors while simultaneously pulling the miscellaneous windows into a coherent linear unity (Figure 43 and 44). Shallow rectangular canopies, of the same thickness as the roof eave, project unsupported above the shared entries in each of the courtyards, adding additional variety to the otherwise flat design. The windows throughout are set into substantial white frames with thick projecting sills. A partial view of the roofing material and hipped form along with various vents, antennae, and compressors is visible from the street level.



Figure 43. (Left) North elevation of rectangular Building, view to south (ESA 2015)

Figure 44. (Right) Primary (east) elevation of rectangular Building, view to northeast (ESA 2015)

The largest building is located at the eastern end of the site. Currently painted yellow with blue-green trim along the roof eave and canopy projections inside the courtyard, it contains 16-units in 12,767 square feet. This building, distinct from the others, breaks its eave line as it steps down at its midpoint to navigate the slope between the front and back of the site.

The two-story front (north) façade is organized as two rectangular masses on either side of a slightly recessed center plane with a large gated entry portal below and a modest multi-light combination fixed/sliding window above (alteration, replacements). Six multi-light combination fixed/sliding windows (alteration, replacements) on each floor are arrayed in sets of three on either side of the center opening; these sets of three are framed within a heavy applied molding.



Figure 45. (Left) Central courtyard of yellow Building, view to south (ESA 2015)

Figure 46. (Right) Replacement windows found throughout the yellow Building, view to south (ESA 2015)

The deep center portal is entered through a secured and grated, square vertical post steel gate painted blue-green (alteration) and contains a bank of individual mailboxes on either side as well as wall air conditioning units (alteration). The pavement is concrete and runs through from the sidewalk, into the entryway, and beyond into the courtyard (Figure 45). At the courtyard it forms a central spine dropping down several sets of shallow stairs out to the parking area. It also links narrow walkways to the four recessed first- and second-floor apartment entries. Each entry porch is accessed by two stairs framed with steel square post railings painted blue-green that rise above the concrete ground plain (alteration) and give way to two front doors for downstairs units or to an internal staircase rising to doors for the second-floor units (Figure 46).



Figure 47. South elevation of yellow Building's east wing, view to north (ESA 2015)

The east elevation faces onto a gated driveway between the complex and an adjacent neighbor. The long wall features multi-light sliding and sash windows of different sizes (alteration, replacements) on two floors and is punctuated by two back doors at the first floor level (Figure 47). Channeling for electrical service, surface-mounted exterior lighting, vertical rain downspouts, and screened rectangular vents also populate the surface.



Figure 48. (Left) Rear elevation of yellow Building with view of central courtyard, view to northeast (ESA 2015)

Figure 49. (Right) Rear elevation of yellow Building's west wing, view to northwest (ESA 2015)

The two-part south or rear elevation is the terminus of the two ends of the enclosed courtyard and is three stories accommodating the site's change in slope. It faces onto the asphalt alley and parking shed. Between the two end-walls a concrete staircase rises from the asphalt alley up to the courtyard level; parking for two cars is accommodated on either side of the stair (Figure 48). Each of the two end walls features three multi-light sliding windows at the second and third floors, a surface interrupted with runs of metal electrical cable raceway, surface-mounted emergency lighting and security cameras, and a vertical downspout pipe. The two first floor end walls both have two sets of service doors painted blue green, one flush to the wall and the other projecting with a narrow shed roof above (Figure 49). The first floor east side of this rear elevation wall has small rectangular screened vents while the first floor west side of the rear elevation has two square punched windows protected by security bars. Vertical and horizontal wood bumpers have been placed at the corners and at knee height along the building base to prevent damage from cars; these are painted blue-green.



Figure 50. West elevation of yellow Building's west wing, view to northeast (ESA 2015)

The west elevation faces onto the active entrance driveway and onto the complex's center building. Like the east elevation, it features differently sized sliding and sash multi-light windows (alteration, replacements) in white frames, vertical downspouts, raceways for electrical cabling, and, at the lower level, screened rectangular vents (Figure 50). From this vantage point it is easy to see the break in the roofline as the building steps down to meet the change in slope.



Figure 51. (Left) Primary (north) elevation of green Building, view to south (ESA 2015)

Figure 52. (Right) View of east and south elevations of green Building, view to northwest (ESA 2015)

The second largest building is located in the middle of the site (Figure 51). Currently painted a light blue-green, it also features the darker blue-green color along the roof eave and porch canopies. Unlike the largest building, this building does not break the roofline as negotiates the change in slope from front to back (Figure 52).



Figure 53. (Left) entrances to apartments and staircases, and replaced windows in the green Building's courtyard area, view to east (ESA 2015)

Figure 54. (Right) View of main entry into green Building's courtyard area, view to north (ESA 2015)

This middle building contains 16 units in 12,634 square feet. Its two-story front (north) façade is also organized as two rectangular masses on either side of a slightly recessed center plane with a large gated entry portal below and a modest multi-light combination fixed/sliding window above (Figure 54). The windows are also arranged as three above and three below on either side of the front entry but differ from the building to the east by being framed with heavy molding as pairs at the outer edge of the building with the third inboard window closest to the entry standing alone both top and bottom. This wall beneath this third window has been enlarged and another multi-light window (alteration) added at the base, each window in this position identically treated (Figure 53).



Figure 55. (Left) View of rear elevation and central courtyard of green Building, view to north (ESA 2015)

Figure 56. (Right) Rear and west elevations of green Building, view to northeast (ESA 2015)

The details of the entry, courtyard, east, south, and west elevations are similar to those of the largest building with one exception: there are no residential back doors on the perimeter of this building. Its west elevation faces onto the active exit driveway and onto the complex's west building (Figures 55 and 56).

The smallest building is located at the western corner of the complex, where Yucca and Argyle intersect. Currently painted pink with blue-green trim along the roof eave and canopy projections, it contains 8 units in 6,184 square feet. This building has no courtyard and is similar in dimension to a single bar of the courtyard

buildings. It is oriented with its front façade to the west along Argyle and its secondary elevation to the north along Yucca.



Figure 57. South and west elevations of pink Building, view to northeast (ESA 2015)

The front (west) façade is arrayed symmetrically as a long rectangular mass with two end units projecting forward to accommodate porches and stairs for entry to first and second floor units (Figure 57). The façade sits above the street on an elevated and fenced earthen berm and faces onto a concrete walkway. A gated and locked stair rises from the sidewalk and navigates the berm at the center of the front façade. A combination of individual fixed and sliding multi-light windows (alteration) are framed with substantial white molding at the first and second floors. Two vertical downspouts and incidentally located electrical cable raceways, wall air conditioning units and safety lights further populate the surface. As on the other buildings, the thick profile of the roof eave gives weight and horizontal definition to the building; dissimilar to the other buildings, this façade introduces a narrow band of molding beneath the second floor window frames that defines a boundary between first and second floors and brings unity to the façade composition.



Figure 58. North elevation of pink Building, view to south (ESA 2015)

This linear element continues to the **secondary (north) elevation** where it creates a baseline for that side's second floor windows (Figure 58). This elevation is configured with three windows above and three below, again in a combination of fixed and sliding multi-light units (alteration, replacements). Similar to the front façade of the adjacent middle building, the wall at two of the window units on this elevation has been enlarged and an additional multi-light window added at the base. A number of rectangular screened vents are located at the base of the wall and between first and second floors; wall air conditioning units are located inboard of the westernmost windows at the first and second floors.



Figure 59. Rear (south) elevation of pink Building, view to north (ESA 2015)

The treatment of the east and south (rear) elevations is similar to that of the other buildings with the exception being that the rear elevation includes the features only one bar meaning three windows top and bottom and only one set of service doors (Figure 59).



Figure 60. Rear parking area, view to southeast (ESA 2015)

A covered parking shed is sited along the south (rear) property line of the complex (Figure 60). It is open on one side with a flat roof and exposed rafters. The shed is wood frame stucco construction supported with

paired round steel posts between every second parking bay. It covers four-fifths of the site's length and is one car deep. The parking shed is painted blue with the thick eave painted a dark blue-green as through the rest of the complex.

b. Integrity Analysis

In addition to the integrity recommendations provided at the national and state levels, at the local level SurveyLA allows for a change of a greater degree of alteration or fewer character defining features under the property type of courtyard apartments. Alteration of landscape is acceptable as well as the replacement of some windows as long as the original openings are retained. The garden apartment should retain integrity of location, design, setting, and materials. The period of significance for the Yucca Argyle Apartments has been identified as 1953, the date of construction. With these integrity considerations in mind, the Yucca Argyle Apartments is evaluated against each of the seven aspects of integrity below.

Location – The Yucca Argyle Apartments has not been moved; it remains in the location in which it was originally built in 1953. **Therefore, the Yucca Argyle Apartments retain integrity of location.**

Design – The design of the Yucca Argyle Apartments has not been altered significantly throughout its history. Building permits on file in the Los Angeles Department of Building and Safety demonstrate routine maintenance on the buildings since their original construction. However, all windows throughout the complex have been replaced with modern vinyl sliding windows. The apartment buildings possess few character defining features due to the minimalist nature of their mid-century design. The change to all windows, including the windows on the primary elevation, is a major alteration affecting The Yucca Argyle Apartments integrity of design. **Therefore, the Yucca Argyle Apartments no longer retain integrity of design.**

Materials – The Yucca Argyle Apartments have lost their integrity of materials. While the structures have retained their integrity of design, the replacement of nearly all original windows, including those on the primary elevations, have resulted in a significant loss of materials. Although SurveyLA has stated that some windows may be replaced, the replacement of all windows negatively affects the Buildings' ability to convey their historical significance. Furthermore, integrity of materials has been eroded by the addition of new railings throughout the property, disrupting the original character of the open courtyards. **Therefore, the Yucca Argyle Apartments no longer retain integrity of materials.**

Workmanship – The Yucca Argyle Apartments fail to retain their integrity of workmanship. As stated above, the Yucca Argyle Apartments have lost their integrity of materials due to the replacement of all windows and the addition of new railings throughout the courtyard spaces. Despite few alterations to the original design of the Yucca Argyle Apartments, the replacement of windows throughout the property has resulted in the removal of historic materials and the workmanship associated with those features. **Therefore, the Yucca Argyle Apartments no longer retains integrity of workmanship.**

Feeling – Despite retaining integrity of location, alterations to the Buildings' windows and courtyards have resulted in a loss of integrity of materials, design and workmanship. Due to the loss of these features, the Yucca Argyle Apartments no longer convey their association with the mid-century courtyard apartment property type and **therefore do not retain integrity of feeling.**

Association – The subject property is associated with post World War II settlement and development, meeting the demand of an ever increasing population. The Yucca Argyle Apartments retain only their integrity of location. Although the apartments continue to operate as multi-family housing, they do not retain a majority of the seven aspects of integrity. Integrity of location is not sufficient to convey its historical associations. **Therefore, the Yucca Argyle Apartments do not have integrity of association.**

Setting – The current setting of the Yucca Argyle Apartments consists of a small residential neighborhood along Vista Del Mar to the east and multi-family housing at 6211 Yucca Street (1925) to the north. However, the setting has been degraded by multi-family housing at 6223 Yucca Street (1961) to the north, the loss of The Little Country Church of Hollywood destroyed by a fire to the south, and an open lot in the process of redevelopment to the west. **Therefore, the Yucca Argyle Apartments no longer retain integrity of setting.**

SurveyLA states that a property associated with the garden apartment property type should retain integrity of location, design, setting, and materials. Although the Yucca Argyle Apartments retain their integrity of location, the immediate setting has been eroded with infill development since the Buildings were constructed in 1953. Furthermore, materials have been lost due to a significant amount of window replacement, as well as the addition of new railings in the courtyard spaces. As a result of these significant impacts to the integrity of design, materials, workmanship, and setting, the Yucca Argyle Apartments do not retain enough integrity to be eligible under the applicable the SurveyLA courtyard apartment theme.

c. Significance Evaluation

The Yucca Argyle Apartments are associated with the theme of Courtyard Apartments (1910-1980 and only retain their integrity of location from the period of significance (1953). Despite few alterations documented in the sites construction history, the indiscriminate replacement of all windows and addition of railings in the courtyards have significantly affected the Buildings' integrity of design, materials, workmanship, feeling, and association. The Yucca Argyle Apartments do not appear significantly related to important events in national, state, or local history. Research of the apartments' residents did not reveal historic personages relevant to national, state, or local history. Furthermore, the Yucca Argyle Apartments are not the work of a master architect or builder and represent a common example of multi-family housing constructed in the mid-century throughout Southern California. The Yucca Argyle Apartments do not exhibit distinguishing architectural characteristics of an architectural type specimen. Therefore the Yucca Argyle Apartments do not appear to meet national, state, or local criteria for eligibility as a historic resource.

Broad Patterns of History

With regard to broad patterns of history, the following are the relevant criteria:

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure reflects or exemplifies the broad cultural, political, economic, or social history of the nation, State, or City (community).

The Yucca Argyle Apartments do not appear to be significantly associated with contributions to the broad patterns of national, state, or local history. The area where the Yucca Argyle Apartments are located was originally part of Tract 3148 purchased by Albert G. Bartlett and subdivided in 1917. Bartlett constructed his family home on the location along with elaborate gardens covering seven acres of land. Single-family residential neighborhoods developed around Bartlett's estate while Hollywood's commercial districts along Hollywood Boulevard grew in the early twentieth century. By the time the Yucca Argyle Apartments were constructed in 1953, the area was fully developed with single-family, multi-family, and commercial properties. The Yucca Argyle Apartments is a typical and unremarkable example of post-war multi-family residential architecture, a multi-family housing type that was popular in Southern California from the years following World War II through the early 1960s. Similar apartment complexes were constructed throughout Los Angeles during the post-war years to accommodate a growing population. Although postwar development is significant to Los Angeles' history, the Yucca Argyle Apartments are isolated from similar development. A Sanborn map from 1955 shows the area surrounding the Yucca Argyle Apartments populated with pre-war multi-family housing, single family housing, and commercial buildings, as well as many open lots used for parking for the busy commercial area of Hollywood Boulevard and Vine Street. **Therefore, the Yucca Argyle Apartments do not appear eligible for the National Register under Criterion A, the California Register under Criterion 1, or the local register.**

Significant Persons

With regard to associations with important persons, the following are the relevant criteria:

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure is identified with historic personages or with important events in the main currents of national, State, or local history.

The Yucca Argyle Apartments is not identified with historic personages in national, state, or local history. Originally constructed as an income producing property by the Junior Realty Company in 1953, the Yucca Argyle Apartments served a high volume of renters throughout their history. Based on the available historic city directories, ESA investigated occupants from 1956 to 1965 and found no persons significantly associated with national, state, or local history. **Therefore, the Yucca Argyle Apartments are not eligible for listing under the National Register Criterion B, California Register Criterion 2, or the local register for eligibility related to a historic personage or event.**

Architecture

With regard to architecture, design or construction, the following are the relevant criteria:

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure embodies certain distinguishing architectural characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction; or the proposed site, building, or structure is a notable work of a master builder, designer, or architect whose individual genius influenced his age.

The Yucca Argyle Apartments is a typical example of a post-war multi-family residential complex constructed throughout the Los Angeles area and Southern California. The Yucca Argyle Apartments incorporates the massing, low-pitched roof, overhanging eaves, stucco finish, cantilevered canopies, and general lack of applied ornamentation commonly associated with post-war residential architecture. Two of the three buildings are arranged in a u-shaped footprint with central courtyards typical of the courtyard apartments made popular during the mid-century period. However, unlike other courtyard apartments, which sought to take advantage of Southern California's ideal climate by creating an outdoor common area, the Yucca Argyle Apartments fail to make use of the landscaped courtyard. The apartments have no balconies or patios and the landscaped courtyards are dominated by concrete pathways with minimal landscaping present. Although the Yucca Argyle Apartments retain their integrity of location, the integrity of design, materials, and workmanship have been lost due to a significant amount of window replacement, as well as the addition of new railings in the courtyard spaces, and the immediate setting has been eroded with infill development. Therefore, the Yucca Argyle Apartments are not an ideal representation of the courtyard apartment. Furthermore, the apartments are not the work of a master architect or builder. They are simple income producing multi-family residential structures originally constructed by the Junior Realty Company in 1953. **Therefore, the Yucca Argyle Apartments are not eligible for listing under the National Register Criterion C, California Register Criterion 3, or the local register for eligibility related to a distinctive type, method, or period of construction, or as a work of a master.**

Archaeology

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

The Yucca Argyle Apartments are located on the former building site of the Albert G. Bartlett Residence, constructed in the early twentieth century. However, due to the significant disturbance of the site due to the construction of the apartment buildings, substantial foundations and grading, and instillation of necessary utilities, the site is not likely to yield any information important to prehistory or history. Therefore, the Yucca Argyle Apartments do not meet the above criterion at the national or state level.

C. CONCLUSION

For the purposes of this analysis, 1765 and 1771 Vista del Mar and the Yucca Argyle Apartments located within the Project Site were reevaluated and were all found ineligible at the national, state, and local levels.

The residences at 1765 and 1771 Vista del Mar have been included in three historic resources surveys in 1984, 1994 and 2010. In 1984, the residences were determined contributors to the District, which was found eligible at the local level and assigned a 5S2 CHR Status Code. Despite the survey noting the residence at 1765 Vista del Mar has a second-story addition (1935) that altered the original 1918 residence beyond recognition, 1765 Vista del Mar was incorrectly identified as a contributor to the District. Following the 1994 Northridge earthquake, the District was reevaluated, found to be a rare neighborhood representing early-Hollywood residential development, and determined eligible for the National Register by consensus through the Section 106 process and automatically listed in the California Register. As a result, 1765 and 1771 Vista del Mar, contributors in the District, were also listed in the California Register. Both residences were resurveyed again during the 2010 Historic Resources Survey. 1765 Vista del Mar retained its status as a contributor to the District, while it was recognized 1771 Vista del Mar was altered since it was last surveyed in 1994 and found ineligible for national, state, and local listing (assigned a 6Z CHR Status Code).

The reevaluation of both 1765 and 1771 Vista del Mar Street in this Report revealed that the residences have both been severely altered and no longer retain their historic integrity, and are therefore no longer eligible at the national, state, or local levels. Because neither of the residences can convey their original appearance, they are no longer representative of the development of Tract 2209 and the early settlement of Hollywood. Furthermore, they are not identified with historic events or personages. Lastly the residences are altered and are not exceptional, distinctive, outstanding, or singular examples of a type or style. Therefore, ESA has assigned the residences a 6Z CHR Status Code. ESA's reevaluation of 1765 and 1771 Vista del Mar Street were recorded on Department of Park and Recreation ("DPR") 523L Continuation Sheets and are included in Appendix G. However, despite the loss of integrity, both 1765 and 1771 Vista del Mar Street remain listed on the California Register by virtue of the 1994 survey. Because both residences remain listed on the California Register, they are considered historical resources for the purposes of CEQA.

The Yucca Argyle Apartments were surveyed during the City's 2010 SurveyLA Historic Resources Survey, which concluded that the apartments were ineligible for listing on the National Register, California Register, or as a local landmark. The revaluation of this property in this Report similarly concludes the Yucca Argyle Apartments appear ineligible for listing under any federal, state or local eligibility criteria. Constructed in 1953, the Yucca Argyle Apartments were constructed much later than the development of the surrounding area and therefore do not contribute to the early development history of the area. As a product of the postwar era, the Yucca Argyle Apartments do appear associated with Los Angeles' mid-century population growth after World War II. However, the Yucca Argyle Apartments are isolated from other similar multi-family housing developments and do not appear to hold any significant associations with this period of development. The Yucca Argyle Apartments do not appear associated with persons significant to local, state, or national history. Alterations to the Yucca Argyle Apartments have significantly affected their integrity of design, materials, and workmanship. Due to the loss of integrity, the Buildings' are not eligible as excellent examples of the courtyard apartment building type. Courtyard apartments were designed to create an outdoor common area, taking advantage of the ideal Southern California climate within an urban environment. However, the Yucca Argyle Apartments fail to do this due to a lack of balconies and the dominance of concrete pathways decreasing the availability of landscaped space within the courtyard. Furthermore, the Yucca Argyle Apartments are not the work of a master architect or builder. As a result of these investigations, the Yucca Argyle Apartments are assigned a CHR Status Code of 6Z, "found ineligible for National Register, California Register or local designation through survey evaluation."

V. CEQA IMPACTS ANALYSIS

A. SIGNIFICANCE THRESHOLDS

The thresholds for determining the significance of environmental effects on historical resources identified below are derived from the CEQA Guidelines as defined in §15064.5 and the City of Los Angeles CEQA Thresholds Guide. Pursuant to this guidance, a project that would physically detract, either directly or indirectly, from the integrity and significance of the historical resource such that its eligibility for listing in the National Register, California Register or as a City Monument would no longer be maintained, is considered a project that would result in a significant impact on the historical resource. Adverse impacts, that may or may not rise to a level of significance, result when one or more of the following occurs to a historical resource: demolition, relocation, conversion, rehabilitation, or alteration, or new construction on the site or in the vicinity.³⁹

1. State CEQA Guidelines Appendix G

In accordance with Appendix G of the State CEQA Guidelines the Project would have a significant impact related to historical resources if it would:

- a. Cause a substantial adverse change in the significance of a historical resources as defined in Section 15064.5?

2. 2006 L.A. Thresholds Guide

The L.A. CEQA Thresholds Guide (*Thresholds Guide*) identifies the following criterion to evaluate historic resources:

- If the project would result in a substantial adverse change in the significance of an historical resource, including demolition of a significant resource, relocation that does not maintain the integrity and significance of a significant resource, conversion, rehabilitation, or alteration of a significant resource which does not conform to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and/or construction that reduces the integrity or significance of important resources on the site or in the vicinity.

In assessing impacts related to historic resources in this section, the City has determined that the appropriate threshold of significance for the Project is the threshold under Appendix G. The criteria identified above from the Thresholds Guide will be used where applicable and relevant to assist in analyzing the Appendix G thresholds.

³⁹ L.A. CEQA Thresholds Guide, Section D.3. Historical Resources, City of Los Angeles, 2006, p. D.3-1 (<http://environmentla.org/programs/Thresholds/D-Cultural%20Resources.pdf>, accessed 6/04/2013)

B. ANALYSIS OF PROJECT IMPACTS

1. Project Description

Constructed with contemporary materials including tinted glass, stucco, aluminum, and fiber cement boards, the Project consists of two buildings: Building 1, a 20-story contemporary style building, and Building 2, a contemporary Prairie style three-story building. Oriented with Building 1's primary elevation facing towards Yucca Street, the Project is intended to interact with commercial development, and is similar in scale, massing, and use, and located along Argyle Avenue and Yucca Street. The total development would include 316,948 square feet of residential, hotel and commercial/restaurant uses developed within two buildings, Building 1, with a mix of residential, hotel and commercial/restaurant uses, and Building 2, a residential only building. Parking would be provided within a six-level parking structure housed within the podium structure of Building 1, and for Building 2 parking would be provided in its two-level podium structure within the ground level and one subterranean level. The Project plans are included in Appendix A.

a. Building 1 – Residential, Commercial and Hotel

Building 1 would occupy the majority of the western portion of the Project Site and is located at the southeast corner of Yucca and Argyle. It would include a six-level podium structure with two fully subterranean levels (P3 and P2 Levels); two semi-subterranean levels (P1 and L1 Levels – due to site's sloping topography); and two entirely above ground levels (L2 and L3). Atop Level 3 (the highest podium level), Building 1 would include Levels 4 through 20 in the form of an L-shaped tower sitting on top of the podium. Thus, Building 1 would stand up to approximately 255 feet tall as measured from the P1 level along Argyle Avenue, the lowest surface point. Level P1 mostly fronts Argyle Avenue due to the site's downward sloping topography from north to south. Building 1 setbacks would be 0 feet along Yucca Street, Argyle Avenue, and the southern property line for the podium; and 16 feet from the southern property line for the tower.

The conceptual design of Building 1 is contemporary and modern, featuring exterior walls clad in tinted glass, blue and grey, and solid panels for the residential and hotel components and the parking podium. The lower mass on the east side and the podium base are clad in panels, and act as a solid anchor for the all glass clad tower that thrusts its way westward. A combination of balcony cutouts and projections on the glass tower creates patterns that ripple across the facades. The L-shaped tower would be stepped back from the parking podium on all four sides, and would step back again at the top level to create a pool deck and private patios for the penthouse suites. The podium stepback would reduce the tower's perceived mass as viewed from the street level, and the upper level stepback would emphasize tiering (i.e., smaller building size) at the rooftop.

Two different glazing colors, blue and grey, are proposed for the tower. Blue tinted glass would be used in the upper floors of the tower and a natural grey tint would be used in the lower tower mass and the podium base. The juxtaposition of color and reflectivity would create a bold and contrasting design along the tower's faces. Glazing at the ground level restaurant and retail uses would have no tinting. The outside wall surfaces of the parking podium would be overlain with tinted metal rods placed at slight angles to create a vertical screen. While allowing for openness in the parking area, the mesh surfacing would conceal the parked vehicles and present a modern visual feature.

b. Building 2 –Residential

Building 2, located at the southwest corner of Yucca Street and Vista del Mar Street, would include three residential levels over a two-story podium structure, with one subterranean parking level (P2 Level) and one semi-

subterranean parking level (P1). An enclosed trash recycle area would be provided on the P1 Level. Due to the sloping topography, Building 2 would be up to four-stories ranging between 52 to 60 above ground along the northernmost corner of Vista del Mar Street, and three-stories up to 52 feet above ground along Yucca Street. Building 2's front setback of 15 feet along Vista del Mar Street would be densely landscaped and would maintain the prevailing setback (12-15 feet) in the area to maintain consistency with the residential contributors in the District. Building 2 would be setback six feet on Yucca Street and along the south property line. It would step back at Level 3 along Vista del Mar Street at the south property line to further reduce the sense of mass.

The conceptual design of Building 2 is a contemporary adaption of the Prairie style. Its scale and height at three-stories, stepped massing with sloped hip roofs covered in standing seam metal, natural materials such as stucco and brick, muted color scheme and other architectural details were developed to be compatible with the architecture of the single-family homes situated in the Vista Del Mar Carlos Historic District. Building 2 would be sheathed in fiber cement board siding, brick veneer, and stucco. Fenestration would include aluminum and vinyl framed windows and aluminum framed glass doors. On the east elevation, the first and second stories would have balconies contained by contemporary metal railings.

2. Direct Impacts

The Yucca Argyle Apartment complex located at 6210 Yucca Street was evaluated and found ineligible as a historic resource under any of the applicable federal, state, or local criteria. The Yucca Argyle Apartments maintain a poor level of integrity and do not appear to meet any of the criteria for national, state, or local eligibility as historic resources.

While the Yucca Argyle Apartments do not qualify as historical resource under CEQA, the proposed Project would also redevelop lots occupied by a single-family residence at 1771 Vista del Mar Street and a duplex at 1765 Vista del Mar Street. Due to significant integrity issues, as explained in Chapter IV.2.b of this Report, ESA determined the residences at 1765 and 1771 Vista del Mar Street both fail to meet the criteria for national, state, or local eligibility as individual historic resources and has assigned both properties a 6Z CHR Status Code.

As previously discussed, in 1984 and 1994, both 1765 and 1771 Vista del Mar Street were identified as contributors to the District. At the time of the of the 1984 survey, the evaluation noted the residence at 1765 Vista del Mar Street had a second-story addition (1935) that altered the original 1918 residence beyond recognition, but despite the alterations 1765 Vista del Mar was still found to be a contributor to the District (erroneously). During the 1994 survey following the Northridge earthquake, the District was determined eligible for the National Register through Section 106 consensus and listed on the California Register. Therefore, both residences at 1765 and 1771 Vista del Mar Street are still currently listed on the California Register. However, the subsequent 2010 survey deemed 1771 Vista del Mar no longer eligible as a contributor to the District because of the alterations. Based upon our current investigations of existing conditions, ESA believes the two residences no longer retain the level of integrity necessary to be considered contributors to the District. Yet, they are still listed as contributors on the California Register and therefore qualify as historic resources under CEQA.

Based on these findings, the Project would have a direct impact to a historical resource, the District. However, the impact would be less than significant because it would result in the removal of two highly altered residences that no longer convey their significance within the context of the District. Due to alterations made

outside of the District's period of significance (1910-1923), the residences have lost their architectural integrity and key character-defining features necessary for consideration as contributors to the District. Additionally, the 2010 Historic Resources Survey also previously determined 1771 Vista del Mar was altered and found the residence ineligible at the national, state, and local levels. While the residences retain a similar set-back and residential character as the other district contributors along Vista del Mar Street, because of alterations 1771 Vista del Mar does not exemplify the Craftsman style, and 1765 Vista del Mar (altered) is now much larger and out of scale compared to the other contributors. Furthermore, both residences at 1765 and 1771 Vista del Mar Street are located on the outer northern edge of the District, as represented in Figure 61, where the historic setting has already been eroded by the construction of the Yucca Argyle Apartments to the rear (west) of 1765 and 1771 Vista del Mar Street in 1953, and the improvement of the 101 freeway completed by the late 40s and early 50s to the northeast of the residences. Therefore, pursuant to CEQA, demolition of the residences would not result in the removal of any key physical characteristics of the District that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register. Accordingly, the Project would have no significant adverse direct impact on the District or any contributing historical resources.

3. Indirect Impacts

Indirect impacts were analyzed to determine if the Project would result in a substantial material change to the integrity of historical resources in the vicinity of the Project Site and their immediate surroundings. There are 17 known historical resources located within a 0.25-mile radius of the Project Site, as discussed in Chapter IV.A.1 on pages 32 to 34 and as shown in **Table 8, *Previously Recorded Resources within a 0.25 Mile Vicinity of the Project Site***. Of those seventeen (17) historical resources, only seven (7) historical resources are located within the Indirect Impacts Study Area ("Study Area") of the Project Site. Potential indirect impacts to these historical resources are further analyzed in the Indirect Impacts Study Area section below.

The Study Area includes historical resources that would have visual access to the Project and/or could be viewed in conjunction with the Project. For the purpose of this Report, the Study Area is described as follows:

- The area occupied by properties that flank Yucca Street between Ivar Avenue and N. Gower Street.
- The area occupied by properties that flank Argyle Avenue between the 101 Hollywood Freeway and Hollywood Boulevard.
- The area occupied by properties that flank Ivar Avenue between the 101 Hollywood Freeway and Hollywood Boulevard.
- The area occupied by properties that flank Vine Street between the 101 Hollywood Freeway and Hollywood Boulevard.
- The area occupied by properties that flank Vista del Mar Street between Yucca Avenue and Carlos Avenue.
- The area occupied by properties that flank Carlos Avenue between the Argyle Avenue and N. Gower Street.

Character of the Area

The predominant character within the Study Area is made up of mixed commercial low-rise to high-rise developments and residential single-family low-rise to multi-family high-rise developments of varying densities, heights, footprints and architectural styles that span from the 1900's to the 2000's. There are intermittent surface parking lots with low-level landscaped boundaries associated with the automobile-focused corridors such as Hollywood Boulevard, Argyle Avenue, Vine Street and Ivar Avenue that are characterized by low-rise and high-rise commercial buildings segregated by asphalt surface parking lots, wide multi-laned streets and substantial billboard signs perched high atop massive pylons. The use of vivid colors highlighting commercial signs and lamp post banners contributes to the array of visual elements. Mature tree-lined streets such as Carlos Avenue and N. Gower Street provide a sense of enclosure and intimacy away from the openness, vibrancy and speed associated with Hollywood Boulevard, Argyle Avenue, Vine Street and Ivar Avenue. In comparison, Yucca Street is a mixture of commercial and residential buildings improved along a wide two-lane road.

a. Analysis of Potential Impacts

There are seven (7) historical resources in the Project vicinity that would have direct and indirect views of the Project; however, changes to the setting caused by the Project would not affect the eligibility of these resources, as explained for each historical resource below. Figure 61 on page 79 shows the historical resources immediately adjacent to the Project Site which include the Vista del Mar/Carlos District and the Little Country Church of Hollywood.

Vista del Mar/Carlos Historic District

Two of the four parcels (1771 and 1765 Vista del Mar) comprising the Project Site are located within the District, a district listed on the California Register and determined eligible for the National Register. The District was improved with single-family residences, duplexes, and flats between 1910 and 1923 (period of significance). The District takes the form of a L-shape that is comprised of two streets, Vista del Mar Street and Carlos Avenue, representative of two early Hollywood tracts and the residences within this tract represent two distinct groupings of residences. Along Vista del Mar Street, the residences are smaller in scale and are mostly one-story single-family residences improved on small identically sized lots. Vista del Mar Street slopes upward to the north, is narrow, has grooved and pebbled paved surface, and sidewalks. While the residences along Carlos Avenue are larger in scale, two-story and representative of the Arts and Crafts style improved on larger lots that encourage deeper setbacks. Even the streetscape of Carlos Avenue is different as Carlos Avenue is wider than the narrow and sloping Vista del Mar Street. The overall character-defining features of the District include: one to two-story scale residences setback from the street behind a lawn or yard, predominately Craftsman or Arts and Crafts style with the exception of a Spanish Colonial style residence, and streets with sidewalks and street trees. The District was found significant under history (A/1) as a representation of Hollywood's early residential development. Within the contiguous District, there are 15 parcels flanking both sides of Vista del Mar Street and Carlos Avenue.

One contributor located at 6142-6144 Carlos Avenue was demolished in the late 1990s after suffering substantial damage from the 1994 Northridge earthquake. Also, because of alterations affecting the integrity of 1771 Vista del Mar, the 2010 Hollywood Survey found 1771 Vista del Mar Street ineligible for the National Register, California Register, and local listing through survey evaluation. Furthermore, in this Report, ESA concluded the residences at 1771 and 1765 Vista del Mar Street do not retain integrity and are no longer

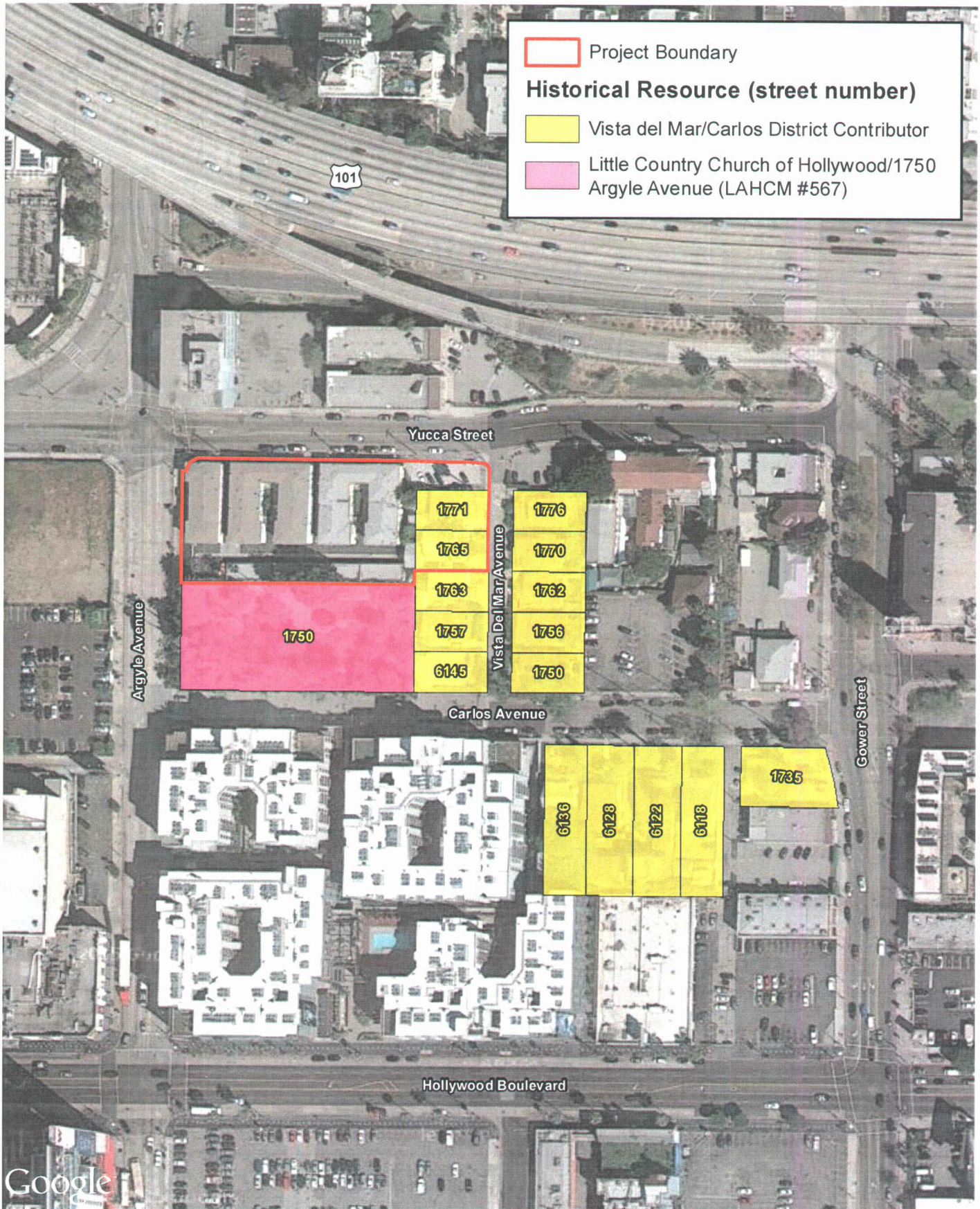
contributors to the District. Additionally, 1771 and 1765 Vista del Mar are located on the edge of the District. The proposed Project would not affect the contiguous nature of the other areas of the District as the remaining 13 contributors would remain extant and the District would retain eligibility. Therefore, the District would retain integrity of materials, workmanship, design, feeling, association and location after Project completion. In regards to the last aspect of integrity, setting, changes to the District's historic setting caused by the Project would not have an adverse effect on the eligibility of the District. The Project proposes to remove two currently ineligible and altered District contributors at 1771 and 1765 Vista del Mar and introduce a new three-story building at the northeast corner of Yucca Street and Vista del Mar Street. However, the historic setting has already been compromised by changes and redevelopment in the area, including the addition of the Yucca Argyle Apartments in 1953, the Hollywood Freeway (U.S. 101) in 1954, loss of the nearby Little Country Church of Hollywood in 2007, and new infill development near the corner of Carlos Avenue and Vista del Mar Street. The removal of the 1771 and 1765 Vista del Mar would not be a significant adverse impact under CEQA because it would not materially impair the significance of the setting such that the District would be rendered ineligible for listing on the California Register. Due to the location of the Project Site within a historic district, the Project is being designed to conform to Standards 9 and 10 of the Secretary of the Interior's Standards for Rehabilitation regarding related new construction. The primary character-defining features of the District, including the street layout, mature street trees, and setbacks behind a front lawn along Vista del Mar Street, would be retained under the Project. Since the Project conforms to Standards 9 and 10 (discussed in the following Secretary of the Interior's Standards Review), it would have a less than significant impact to historic resources because the eligibility of the District would be retained and no mitigation would be required in order for the Project to proceed.

Little Country Church of Hollywood

Abutting the southern end of the Project Site is the site of the former Little Country Church of Hollywood, LAHCM #567, designated in 1992 as the home of the City's, and possibly the nation's first radio ministry. The church was constructed in 1934 by William B. Hogg, a Tennessee preacher, who broadcasted his sermons nationally over the radio from the Little Country Church.⁴⁰ However, on Christmas Eve 2007 an arsonist burnt the Little Country Church down; yet, the lush landscape, some of which survived from the old A.G. Bartlett estate, remains extant.⁴¹ Currently the Little Country Church property is protected by a high fence and the landscape is unmaintained and wild. While much of the landscaping may be original, the destruction of the church has left the site's integrity severely compromised. The property no longer retains the physical characteristics necessary to convey its historical significance. While the Project is directly adjacent to the Little Country Church property, it will not materially impact the Little Country Church's already diminished integrity and it will continue to be listed as a LAHCM following Project completion. Therefore, the Project would not have a significant indirect impact on the Little Country Church property.

⁴⁰ "Hollywood Tale Concludes for Country Church," *Los Angeles Times* (May 11, 1997) http://articles.latimes.com/1997-05-11/local/me-57797_1_country-church-of-hollywood, accessed October 5, 2015.

⁴¹ "Little Country Church of Hollywood Fire," *Daily News* (December 24, 2007) <http://dailynews.mycapture.com/mycapture/folder.asp?event=396880&CategoryID=26369>, accessed October 5, 2015.



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Table 10

Potential Historic Resources with Views of the Project




Address	Construction Date (LA County Assessor)	View	Impact	Current Photograph
1735 Gower Street	1908	Indirect view of the Project Site; located at the corner of Gower Street and Carlos Avenue, five parcels east of Vista del Mar Street.	Indirect impact, less than significant. 1735 Gower Street will retain its eligibility as a contributor to the District after Project completion.	
6118 Carlos Avenue	1910	Indirect view of the Project Site; View is slightly blocked by vegetation and residences; located four parcels to east of the corner of Vista del Mar on south side of Carlos Avenue.	Indirect impact, less than significant. 6118 Carlos Avenue will retain its eligibility as a contributor to the District after Project completion.	
6122 Carlos Avenue	1911	Indirect view of the Project Site; View is slightly blocked by vegetation and residences; located three parcels to east of the corner of Vista del Mar on south side of Carlos Avenue.	Indirect impact, less than significant. 6122 Carlos Avenue will retain its eligibility as a contributor to the District after Project completion.	

Table 10 (Continued)

Potential Historic Resources with Views of the Project




Address	Construction Date (LA County Assessor)	View	Impact	Current Photograph
6128 Carlos Avenue	1913	Indirect view of the Project Site; View is slightly blocked by vegetation and residences; located two parcels to east of the corner of Vista del Mar on south side of Carlos Avenue.	Indirect impact, less than significant. 6128 Carlos Avenue will retain its eligibility as a contributor to the District after Project completion.	
6136 Carlos Avenue	1912	Indirect view of the Project Site; View is slightly blocked by vegetation and residences; located one parcel to east of the corner of Vista del Mar on south side of Carlos Avenue.	Indirect impact, less than significant. 6136 Carlos Avenue will retain its eligibility as a contributor to the District after Project completion.	
1750 Vista del Mar Street	1914/1920	Direct view of the Project Site; View is slightly blocked by vegetation and residences; located on the corner of Vista del Mar Street and Carlos Avenue, three parcels to south of the Project Site on east side of Vista del Mar Street.	Indirect impact, less than significant. 1750 Vista del Mar Street will retain its eligibility as a contributor to the District after Project completion.	

Table 10 (Continued)

Potential Historic Resources with Views of the Project



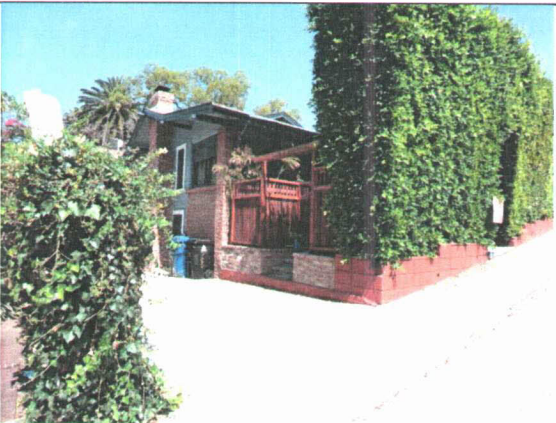
Address	Construction Date (LA County Assessor)	View	Impact	Current Photograph
1751 Vista del Mar Street	1915	Indirect view of the Project Site; View is slightly blocked by vegetation and residences; located three parcels to south of the Project Site on west side of Vista del Mar Street.	Indirect impact, less than significant. 1751 Vista del Mar Street will retain its eligibility as a contributor to the District after Project completion.	
1756 Vista del Mar Street	1914/1918	Direct view of the Project Site; View is slightly blocked by vegetation and residences; located two parcels to south of the Project Site on east side of Vista del Mar Street.	Indirect impact, less than significant. 1756 Vista del Mar Street will retain its eligibility as a contributor to the District after Project completion.	
1757 Vista del Mar Street	1914/1920	Indirect view of the Project Site; View is slightly blocked by vegetation and residences; located two parcels to south of the Project Site on west side of Vista del Mar Street.	Indirect impact, less than significant. 1757 Vista del Mar Street will retain its eligibility as a contributor to the District after Project completion.	

Table 10 (Continued)

Potential Historic Resources with Views of the Project



Address	Construction Date (LA County Assessor)	View	Impact	Current Photograph
1760 Vista del Mar Street	1911	Direct view of the Project Site; located one parcels to south of the Project Site on east side of Vista del Mar Street.	Indirect impact, less than significant. 1760 Vista del Mar Street will retain its eligibility as a contributor to the District after Project completion.	
1763 Vista del Mar Street	1922	Direct view of the Project Site; directly adjacent the Project Site, one parcel to south on west side of Vista del Mar Street.	Indirect impact, less than significant. 1763 Vista del Mar Street will retain its eligibility as a contributor to the District after Project completion.	
1764 Vista del Mar Street	1913/1930	Direct view of the Project Site; located directly across the street from the Project Site, on the east side of Vista del Mar Street.	Indirect impact, less than significant. 1764 Vista del Mar Street will retain its eligibility as a contributor to the District after Project completion.	

Table 10 (Continued)

Potential Historic Resources with Views of the Project




Address	Construction Date (LA County Assessor)	View	Impact	Current Photograph
1770 Vista del Mar Street	1914	Direct view of the Project Site; located directly across the street from the Project Site, on the east side of Vista del Mar Street.	Indirect impact, less than significant. The immediate setting of 1770 Vista del Mar Street will retain its eligibility as a contributor to the District after Project completion.	
1767 Vista del Mar Street	1918/1932	The Residence is located on the Project Site.	Direct impact, less than significant. The proposed Project will result in the demolition of 1767/1765 Vista del Mar, however, because this contributor was recommended ineligible by ESA in this Report, its removal would result in no significant adverse direct impact. Furthermore, the District will retain its eligibility as a historic district.	

Table 10 (Continued)

Potential Historic Resources with Views of the Project

Address	Construction Date (LA County Assessor)	View	Impact	Current Photograph
1771 Vista del Mar Street	1920/1926	The Residence is located on the Project Site.	Direct impact, less than significant. The proposed Project will result in the demolition of 1771 Vista del Mar, however, because this contributor was recommended ineligible by ESA in this Report, its removal would result in no significant adverse direct impact. Furthermore, the District will retain its eligibility as a historic district.	

Capitol Records Tower Building

The Capitol Records Tower Building, located at 1740-1750 N. Vine Street, was designed by Welton Becket and Associates as the world's first circular office tower. The Capitol Records Tower Building was completed in 1956 represents the Mid-Century Modern architectural style. In 2006, the Capitol Records Tower Building was designated a LAHCM. The Capitol Records Tower Building is in direct view of the Project, as it is 0.08 miles (404 feet) to the northeast of the Project Site. However, the Yucca Street Condos, currently under construction at 6230 Yucca Street, would block the current views of the Capitol Records Tower Building from the Project Site. Furthermore, The Project would not block any of the Capitol Records Tower Building's notable views along Vine Street, Hollywood Boulevard or the Hollywood Freeway. The aesthetics and visual resources analysis presented in Section 4.A, Aesthetics/Visual Resources, of the Draft EIR, describes the Project's potential impairment of views of the Capitol Records Tower Building in depth and recognizes the Project would not block views of the Capitol Records Tower Building. Additionally, the Project would not affect the integrity of location, design, materials, workmanship, feeling, and association of the Capitol Records Tower Building, and it would not materially affect its setting. Therefore, in accordance with CEQA Thresholds, the Project would not materially impair the immediate surroundings and significance of the historical resource to a degree that would be considered substantial. In relation to the Los Angeles CEQA Thresholds, the Project would not cause a substantial adverse change in the significance of the Capitol Records Tower Building. The Project would have no indirect impact on this historical resource.

Pantages Theater, 6233 Hollywood Boulevard

The western edge of the Project Site is visible from the side (east) elevation of the Pantages Theater (6233 Hollywood Boulevard). The Pantages Theater was designed by B. Marcus Priteca in the Art Deco style and opened on June 4, 1930. The Pantages Theater is a designated LAHCM, a contributor the National Register Listed Hollywood Boulevard Commercial and Entertainment District, and is listed on the California Register. Located at the northwest intersection of Hollywood Boulevard and Argyle Avenue, the Pantages Theater has an indirect view of the Project Site from the side (east) elevation facing Argyle Avenue. There would be no views of the Project Site when standing in front of the Pantages Theater's stylized Art Deco façade. Because the Project is only visible from the Pantages Theater's side (east) elevation, it would not detract from views of the resource. Furthermore, the historic setting of the Pantages Theater has already been compromised since its construction between 1929 and 1930. At the northeast intersection of Hollywood Boulevard and Argyle Avenue is a new six-story multi-family residential project and across the street from the Pantages Theater to the south is the W Hotel constructed circa 2010. Because of the new infill development to the east and south of the Pantages Theater the historic setting has already been adversely impacted. The Project will not affect the integrity of location, design, materials, workmanship, feeling, association, or setting of the Pantages Theater. Therefore, in accordance with CEQA Thresholds, the Project would not materially impair the immediate surroundings and significance of the historical resource to a degree that would be considered substantial. In relation to the Los Angeles CEQA Thresholds, the Project would not cause a substantial adverse change in the significance of the Pantages Theater. Therefore, the Project would not have a significant indirect impact on this historical resource.

Hollywood Equitable Building, 6253 Hollywood Boulevard

The Hollywood Equitable Building (6253 Hollywood Boulevard) would have views of the Project Site from the north end of the west elevation and rear elevation. Constructed between 1919 and 1920, the 13-story Hollywood Equitable Building was designed by architect Aleck Curlett in the Art Deco style. The building is a contributor the National Register listed Hollywood Boulevard Commercial and Entertainment District, listed on the California Register, and appears individually eligible for the National Register. The Hollywood Equitable Building is approximately 0.14 miles (733 feet) to the southeast of the Project Site and faces the busy Hollywood Boulevard. Focal views of the Hollywood Equitable Building occur east and west along Hollywood Boulevard where views of the Hollywood Equitable Building are taken in conjunction with other contributors to the Hollywood Boulevard Commercial and Entertainment District. It is this historic setting along Hollywood Boulevard that enhances the setting, association, and feeling of the Hollywood Equitable Building. Standing in front of the primary elevation there would be no views of the Project Site and therefore construction of the Project would not impair focal views of the Hollywood Equitable Building. Furthermore, the historic setting of the Hollywood Equitable Building has already been compromised with the construction of the W Hotel circa 2010 to the southeast, as well as other infill development along Hollywood Boulevard. Therefore, the Project will not have a direct impact or affect the integrity of location, design, materials, workmanship, feeling, association, or setting of the Hollywood Equitable Building. In accordance with CEQA Thresholds, the Project would not materially impair the immediate surroundings and significance of the historical resource to a degree that would be considered substantial. In relation to the Los Angeles CEQA Thresholds, the Project would not cause a significant substantial adverse change in the significance of the Hollywood Equitable Building. Therefore, the Project would have no significant indirect impact on this historical resource.

Hollywood Boulevard Commercial and Entertainment District

The Hollywood Boulevard Commercial and Entertainment District is located along Hollywood Boulevard spanning between 6200 to 7000 Hollywood Boulevard and also includes side streets such as Ivar, Vine, and Highland. It's a twelve-block area of the commercial core along Hollywood's main thoroughfare, which contains excellent examples of the predominant architecture styles of the 1920s and 1930s. Listed on the National Register, the nomination form for the Hollywood Boulevard Commercial and Entertainment District states there are over one-hundred contributors. The far eastern end of the District begins at the Pantages Theater (6233 Hollywood Boulevard) and the Hollywood Equitable Building (6253 Hollywood Boulevard), and ends at the far western end with the Congregational Church (7065 Hollywood Boulevard). It is the eastern end of the District that has direct and indirect views of the Project Site. The Pantages Theater (6233 Hollywood Boulevard), Hollywood Equitable Building (6253 Hollywood Boulevard), and the Taft Building (1680 N Vine Street), have indirect views of the Project Site, while the Palace Theater (1735 N. Vine Street) has a direct view of the Project Site. As discussed above, the Project will not materially impair the integrity of the Pantages Theater or the Hollywood Equitable Building, both contributors and individually eligible, as both properties face inward towards Hollywood Boulevard and therefore the Project will not materially alter the historic setting of these buildings or the larger District. While the Taft Building and Old Post Office, both contributors, have indirect distant views of the Project, the historic setting of both properties have already been compromised with the construction of the Capitol Records Tower Building and Yucca Argyle Apartments both developed during the late 1950s. Therefore, because the eastern end of the Hollywood Boulevard Commercial and Entertainment District is approximately 0.12 miles (614 feet) to the southwest, Project would not cause a substantial adverse change in the significance of the District. Therefore, the Project would have no significant indirect impact on the Hollywood Boulevard Commercial and Entertainment District.

Hollywood Walk of Fame

The Hollywood Walk of Fame is LAHCM No. 194, as well as eligible for the National Register and listed on the California Register. Located along the sidewalk, the resource consists of coral-pink terrazzo five-point stars rimmed with brass inlaid into a charcoal-colored terrazzo background. The resource consisting of terrazzo stars inset within terrazzo is located along the sidewalks of Hollywood Boulevard between North Gower Street and La Brea Avenue and along Vine Street between Yucca Street and Sunset Boulevard. The Project Site would be directly visible along Vine Street between Yucca Street and Hollywood Boulevard and indirectly visible along portions of Hollywood Boulevard between North Gower and Vine Street. While the Project would be directly and indirectly viewed from the Hollywood Walk of Fame, it will not materially impact the Walk of Fame's historic significance or integrity and would not cause a substantial adverse change in the significance of the District. Therefore, the Project would have no significant indirect impact on the Hollywood Walk of Fame.

C. SECRETARY OF THE INTERIOR'S STANDARDS REVIEW

As mentioned above, under CEQA, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the Historical Resource.⁴² New construction adjacent to a

⁴² *California Environmental Quality Act, 15064.5 (3).*